BILL NO.:	4688	ORDINANCE NO.:	

Introduced by: Council Present

AN ORDINANCE APPROVING AN AGREEMENT WITH PLUMBERS SUPPLY FOR A FIFTY-PERCENT (50%) PROPERTY TAX ABATEMENT AT 9151 LATTY, IN THE CITY OF BERKELEY, SAINT LOUIS COUNTY, MISSOURI

WHEREAS, the Economic Development Tax Commission met on February 20, 2019; and heard the case and returned it back to the City Council for consideration of approval; and

WHEREAS, the City Council met on March 4, 2019, and desires to stimulate commercial redevelopment and promote business growth in specifically designated areas of the North St. Louis County Enhanced Enterprise Zone; and

WHEREAS, the City has, pursuant to North St. Louis County Enhanced Enterprise Zone Policy under the Berkeley Ordinance 3699, dated, September 26, 2006, designated various "Enhanced Enterprise Zone Areas" for the provision of providing for a 50% property tax abatement for new incoming businesses; and

WHEREAS, the City has set forth in Chapter 145.090 of the Berkeley Municipal Code (BMC) a policy whereby property owners may qualify for a "Property Tax Abatement," which certifies to the St. Louis County Assessor and Collector that this property is eligible to receive a 50% property tax abatement, for a period not less than ten years; and

WHEREAS, Plumbers Supply (Applicant) is interested in receiving a limited property tax abatement for construction and renovation of an existing commercial building in the North St. Louis County Enhanced Enterprise Zone, which is identified in Chapter 145.090 BMC; and

WHEREAS, the Applicant has submitted to the City a complete application for the City's 50% tax abatement program outlining the proposed redevelopment and renovation located at 9151 Latty, Berkeley, Missouri (Property); and

WHEREAS, the City has determined that the improvements to the Property will, if completed as proposed, satisfy the requirements for a 50% tax abatement for ten years, not to exceed September 11, 2028, unless otherwise extended.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BERKELEY, MISSOURI, AS FOLLOWS:

- **Section 1.** Agreement attached hereto as "Exhibit A" between Plumbers Supply and the City of Berkeley, a Missouri Municipal Corporation, is approved.
- **Section 2.** The Mayor is authorized to execute the attached "Exhibit A".
- **Section 3**. The Tax Abatement shall expire September 11, 2028, unless otherwise extended.
- Section 4. The City Clerk shall file an approved copy with the Saint Louis County Tax Accessor and Collector, 41 South Central Ave, Clayton, Missouri 63105; and, St. Louis County Economic Partnership, Attention Business Development Division, 120 S. Central Avenue, Suite 1200, St. Louis, MO 63105.

1st Reading, this	day of	2019					
2nd Reading this	day of	2019					
3rd Reading, PASSED an	nd APPROVED	, this	day of	<u> 2019</u>			
			Theodore	e Hoskins	s, May	or	
ATTEST:					,		
			Final Roll Call:				
Deanna L. Jones, City Cle	erk	-	Mayor Hoskins Councilwoman Hoskins Councilwoman Mitchell Councilwoman Williams Councilman-at-Large Greene	Aye Aye Aye	_ Nay _ _ Nay _ _ Nay _	_ Absent _ _ Absent _ _ Absent _	_ Abstain _ Abstain _ Abstain _ Abstain _ Abstain
Approved As To Form: Donnell Smith, City Attorn	ney	_	Councilwoman Hindeleh Vacant	,	_ , _		_ Abstain _ Abstain

This Ordinance shall be in full force and effect from and after its passage.

Section 5.

CITY OF BERKELEY

Application for Property Tax Abatement Exemption

JGDD Latty, LLC	314.984.9530				
Öwner's Name/Business Name	Phone (area code and number)				
9151 Latty Avenue, Berkeley, Missouri 63134					
Property Address, City, State, ZtP Code					
GENERAL INSTRUCTIONS: This application is for use in claiming property to property owner who has established a tax abatement agreement under Finant Zone Abatement Policy, is entitled to exemption from taxation by an incorporate property as provided by the agreement.	nce and Taxation Code Chapter 145, North County Enhanced Enterprise				
FILING INSTRUCTIONS: This document and all supporting documentation must be filed with the Economic Development Coordinator in the City of Berkeley in which the property is taxable. Do not file this document with Saint Louis County Tax Assessor.					
APPLICATION DEADLINES: The completed application and supporting doct year for which an exemption is requested. For good cause shown, the Econor application by written order for a single period not to exceed 60 αays.					
OTHER IMPORTA	ANT INFORMATION				
	ment Coordinator may request additional information. The additional information or good cause shown, the Economic Development Coordinator may extend the period not to exceed 15 days.				
State the tax year for which you are applying. 2019					
Tax Year					
Did the applicant own the property that is the subject of this application on Ja	an. 1 of the tax year?				
SECTION 1: Property Owner/Applicant					
The applicant is the following type of property owner: (check one):					
Individual Partnership Corporation X Other	(specify): Limited Liability Company (single purpose entity)				
JGDD Latty, LLC	26-1556442				
Name of Property Owner	Driver's License, Personal I.D. Certificate Social Security Number or Federal Tax I.D. Number*				
9151 Latty Avenue, Berkeley, Missouri 63134					
Physical Address, City, State, ZIP Code					
314.984.9530	greg.brown@plumbers-1.com				
Phone (area code and number)	Email Address**				
Mailing Address of Property Owner (if different from the physical address pro	ovided above):				
12012 Manchester Road, Des Peres, Missouri 63131					

Mailing Address, City, State, ZIP Code

CITY OF BERKELEY

SECTION 2: Authorized Representative					
If you are an individual property owner filing this application section 2.	n on your own behalf, skip to section 3; all of	ther applicants are required to complete			
Please indicate the basis for your authority to represent the prop	perty owner in filing this application:				
X Officer of the company General Partner of the company Attorney for property owner					
Agent for tax matters appointed under Finance and Taxat	tion Code Section 145.090 with completed and sig	gned Form ED-20.			
Other and explain basis: Provide the following information for the individual with the legal	authority to act for the property owner in this m	natter:			
John Dubuque					
Name of Authorized Representative	Driver's License, Personal	I.D. Certificate or Social Security Number*			
President	314.984.0440	john.dubuque@plumbers-1.com			
Title of Authorized Representative	Primary Phone Number (area code and number)	Email Address**			
12012 Manchester Road, Des Peres, Missouri 63131 Mailing Address, City, State, ZIP Code					
SECTION 3: Property Description					
number (if known) or attach a tax bill or copy of appraisal or tax 9151 Latty Avenue, Berkeley, Missouri 63134 Physical Address (i.e. street address, not P.O. Box), City, State, ZIP Cod Locator account number (if known) Legal Description: LOT PT A E PT 4 16 82	le				
 Was a wind-powered energy or energy efficient device installed on this parcel of real property under an abatement agree 					
at a location within 25 nautical miles of the boundaries of					
on or after Sept. 1, 2017?	,	Yes X No			
If yes, was the wind-powered energy device installed or constru	cted as part of an expansion or repowering of a	n existing project? Yes X No			
SECTION 4: Taxing Units that have Agreed to Aba	te Taxes				
For each taxing unit identified, attach copies of abatement agre have occurred and/or the agreement(s) were not modified.		ere granted the abatement and no changes			

For more information, visit our website: www.cityofberkeley.mo.us

CITY OF BERKELEY

Form ED-20

SEC	TION 5: Abatement(s) Questions					
1. Is	this a continuation of an existing abatement agreement?	es X No				
2 A	re the terms and duration of each taxing unit's agreement different or identical?	Different Identic	al			
	If different, please copy this form for each taxing unit and complete section 5 for each unit. In the area where taxing units are listed, please circle the taxing unit being summarized.					
	If identical, please describe the nature of the abatement agreements for this year by completing the following:					
	Lump sum exemption of \$					
	X Percentage exemption of 50 %					
	Other (Attach a statement describing the method of calculating abatement. Provide dollar value to be exempted this	s year.)				
3. D	oes the agreement abate taxes on personal property?	Yes X	No			
4. A	re you in compliance with the agreement?	Yes	No			
	If no, attach a statement explaining the reason for non-compliance.					
SEC	CTION 6: Additional Required Documentation	*				
•	ollowing documents must be included with this application. copies of abatement agreements, unless the abatement was previously granted, and no changes have occurred and/or the ag	reement/s) were				
	not modified;	groundings) word				
•	a statement describing the method of calculating the abatement if it is not a lump sum or percentage exemption (provide the describing the method of calculating the abatement if it is not a lump sum or percentage exemption (provide the describing the method of calculating the abatement if it is not a lump sum or percentage exemption (provide the describing the method of calculating the abatement if it is not a lump sum or percentage exemption (provide the describing the method of calculating the abatement if it is not a lump sum or percentage exemption (provide the describing the desc	Iollar amount to be				
•	 a statement explaining the reason for noncompliance if applicant is not in compliance with an abatement agreement. 					
SEC	CTION 7: Certification and Signature					
	ICE REGARDING PENALTIES FOR MAKING OR FILING AN APPLICATION CONTAINING A FALSE STATEMENT: If you naise form, you could be found guilty of a Class A misdemeanor or a state jail felony under Penal Code Section 37.10.	make a false staten	nent			
, Jo	hn Dubuque , swear or affirm	the following:				
Pr	inted Name of Property Owner or Authorized Representative	raio iolowing.				
	1. that each fact contained in this application is true and correct;					
	2 that the property described in this application meets the qualifications under Missouri law for the exemption claimed; and					
	3. that I have read and understand the Notice Regarding Penalties for Making or Filing an Application Containing a False S	Statement.				
aia	2-28-19					
sig: her	e ·	Date				

- * If the property owner is a company or other legal entity (not an individual), the Federal Tax I.D. Number is to be provided. Disclosure of your social security number (SSN) may be required and is authorized by law for the purpose of tax administration and identification of any individual affected by applicable law. Authority: 42 U.S.C. § 405(c)(2)(C)(i); Tax Code Section 11.43(f). Except as authorized by Tax Code Section11.48(b), a driver's license number, personal identification certificate number, or social security number provided in this application for an exemption filed with your county appraisal district is confidential and not open to public inspection under Tax Code Section 11.48(a).
- ** An email address of a member of the public could be confidential under Government Code Section 552.137; however, by including the email address on this form, you are affirmatively consenting to its release under the Public Information Act.

ABBREVIATIONS: ACOUSTICAL AREA DRAIN A.D.A. AMERICANS WITH DISABILITIES ACT ABOVE FINISH FLOOR AGG. AGGREGATE ALUMINUM ANOD. **ANODIZED** BD. BOARD B.H. BULKHEAD BUILDING BLK BLOCK BM. **BENCHMARK** BP BEAM POCKET BSMT BASEMENT **BUILT-UP ROOFING** CONTROL JOINT CLG. CEILING CMU CONCRETE MASONRY UNIT C.O. CLEAN OUT COL. CONC COLUMN CONCRETE CONT. CONTINUOUS CONTR CONTRACTOR CPT CARPET CT CERAMIC TILE DIAMETER DIM. DIMENSION D.J. **DECK JOIST** DN DOWN DS DOWNSPOUT DRAWING **ELECTRICAL CONTRACTOR** E.J. **EXPANSION JOINT ELEVATION** ELEC. ELECTRIC OR ELECTRICAL ELEV. **ELEVATOR** E.P.D.M. CURED SINGLE-PLY SYNTHETIC MEMBRANE **EXHAUST** EXH **EXISTING** EXT. **EXTERIOR** EQ **EQUAL** FIRE ALARM F.D. FLOOR DRAIN FIN FRT FIRE RETARDANT TREATED FTG FOOTING FUR FURRING / FURRED FUT **FUTURE** FXB FXC FIRE EXTINGUISHER BRACKET FIRE EXTINGUISHER CABINET GA. GAUGE GALV. GALVANIZED GENERAL CONTRACTOR (GEN'L CONTR.) GLASS-FIBER REINFORCED CONCRETE GLASS OR GLAZING GPM# GRAVOIS PLANING MILL PROFILE NUMBER GRADE GYP. BD. GYPSUM BOARD HOSE BIB **HOLLOW CORE** H.C. HANDICAPPED HDW HARDWARE **HOLLOW METAL** HEIGHT HTG HEATING HEATING / VENTILATION / AIR CONDITIONING HVAC **INSIDE DIAMETER** K.O. KNOCK OUT LAV. LAVATORY LIGHT LINTEL LVR LOUVER MANUF. or MANUFACTURER (also MFR) MATL MATERIAL MAX MAXIMUM MECH MECHANICAL MANHOLE MINIMUM MISCELLANEOUS MLDG MOULDING MMB MEMBRANE M.O. MASONRY OPENING MTL N.C. NO CHANGE N.I.C. NOT IN CONTRACT NOM NOMINAL N.T.S. NOT TO SCALE O.C. ON CENTER OUTSIDE DIAMETER OFCI OWNER FURNISHED -CONTRACTOR INSTALLED OPPOSITE OCCUPANCY SENSOR O.S. PLT. **PLUMBING** PLUMB PRIVATE P.T. PRESSURE-TREATED PTD PAINT PARTITION PAINTED PVC QT POLYVINYL CHLORIDE QUARRY TILE RETURN AIR REFLECTED CEILING PLAN RD **ROOF DRAIN** REG'S REGULATIONS REQ'D REQUIRED REFLECTED RESILIENT MATERIAL SUSPENDED ACOUSTICAL TILE SOLID CORE SCH SHT **SCHEDULE** SHEET SIM SIMILAR STL STEEL SPECS SPECIFICATIONS SPKR SPEAKER S/S STAINLESS STEEL STOR. STORAGE STRUCT STRUCTURAL SYNTHETIC SYS SYSTEM TEL TELEPHONE THR THRESHOLD TPO THERMOPLASTIC POLYOLEFIN SINGLE-PLY ROOFING MEMBRANE TRANSOM U.N.O. UNLESS NOTED OTHERWISE VCT VINYL COMPOSITION TILE

WALL COVERING

WATER HEATER

WELDED WIRE FABRIC

WOOD

WITHOUT WATER PROOF

WD

W/O

GENERAL CONDITIONS:

1. THE CONTRACTOR SHALL OBSERVE ALL REGULATIONS IMPOSED BY THE APPROPRIATE GOVERNING BODIES, AND ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODES, ACCIDENT AND FIRE PREVENTION REGULATIONS. COMPLIANCE: ALL MATERIALS, EQUIPMENT WORKMANSHIP, WORKING CONDITIONS, AND CONSTRUCTION METHODS SHALL COMPLY WITH THE LATEST APPLICABLE SECTIONS OF LOCAL, MUNICIPAL, CITY, STATE & FEDERAL CODES, ORDINANCES & STANDARDS.

2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO STARTING ANY CONSTRUCTION AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES AT THE BUILDING SITE. 3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON

THE DRAWINGS & CONSTRUCT ALL NEW WORK IN A NEAT & APPROVED 4. THE CONTRACTOR SHALL ESTABLISH AND VERIFY ALL OPENINGS &

INSERTS FOR MECHANICAL AND ELECTRICAL WORK AS REQUIRED FOR THEIR INSTALLATION AND PER DRAWINGS (IF APPLICABLE). 5. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE

STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE. 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AND SECURITY IN & AROUND THE JOB SITE DURING CONSTRUCTION.

7. THE A.I.A. GENERAL CONDITIONS (FORM A-201 LATEST ISSUE) SHALL GOVERN AND BE PART OF THIS PROJECT.

8. THE CONTRACTOR SHALL SUBMIT/FILE FOR, PAY & SECURE ALL APPROVALS, FIRE PERMITS, TEST, AND CERTIFICATES OF COMPLIANCE & OCCUPANCY. BUILDING PERMIT TO BE APPLIED FOR BY ARCHITECT. 9. THE DIMENSIONS ON THESE DRAWINGS IN ALL CASES SUPERSEDE

SCALE. CONTRACTOR IS NOT TO SCALE DRAWINGS. 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RUBBISH SWEPT UP & REMOVED DAILY. UPON COMPLETION OF WORK, THE CONTRACTOR

SHALL LEAVE WORK IN A FINISHED CONDITION. 11. IT WILL BE THE DUTY OF THE CONTRACTORS TO COMMUNICATE IMMEDIATELY WITH EACH OTHER IN ORDER TO SCHEDULE WORK,

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO OWNER'S OR OTHERS PROPERTY DONE BY HIM/HER OR INDIVIDUALS IN THE CONTRACTOR'S EMPLOY, OR THROUGH NEGLIGENCE. 13. THE CONTRACTOR SHALL LOCATE THE BUILDING SITE, ESTABLISH

STORAGE AREAS, ETC. IN A MANNER AND WITHIN THE TIME SPECIFIED

BUILDING LINES, BENCH MARKS, FINISH FLOOR ELEVATIONS, LAYOUT FOR PARTITIONS & OPENINGS. 14. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES BEFORE

CONSTRUCTION BEGINS. 15. ALL ARCHITECTURAL DRAWINGS ARE IN CONFIDENCE AND DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHTS AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED. 16. IF THE CONTRACTOR DOES NOT CLEARLY UNDERSTAND THE PLANS, HE

SHOULD OBTAIN THE ARCHITECT'S WRITTEN EXPLANATION PRIOR TO BIDDING. THE CONTRACTOR WILL BE HELD RIGIDLY TO INTERPRETATIONS OF THE ARCHITECT. 17. ALL ELECTRICAL, LIGHTING, MECHANICAL & PLUMBING WORK IS TO BE ON

A DESIGN/BUILD BASIS BY THE GENERAL CONTRACTOR. G.C. IS TO CONFER WITH OWNER ON DESIGN OF ALL OF THESE SYSTEMS BEFORE PRESENTING CONSTRUCTION BID TO OWNER. 18. ANY TRACKING OF SOIL OR OTHER DEBRIS MUST BE CLEANED IMMEDIATELY BY THE CONTRACTOR. ALLEYS AND ROADWAYS SHOULD

BE CLEANED ON A REGULAR BASIS. 19. ALL WORK TO BE COMPLETED ON OWNER'S PROPERTY. NO ENCROACHMENT ALLOWED ON NEIGHBOR'S LOT UNLESS PERMISSION GRANTED BY A PROPERTY MAINTENANCE AGREEMENT.

1-1/2" DIAM. METAL

NEW COMPACTED

CONCRETE

DOCK RAMP

PAVING AT-

#4 BENT DOWELS

#4 BAR TOP & BOTTOM-

AT 16" O.C.

3 CONCRETE STAIR AT BANKING 3/4" = 1'-0"

-GRAVEL BELOW

CONCRETE

HANDRAIL @ EA. SIDE-

(7) TREADS @ 11" EACH = 6' - 5"

GRAVEL FILL

#4 BOTTOM BARS @

12" O.C. EACH WAY

OPENING

LIMITATION, 6"

STAIR WIDTH-

PROJECT INFORMATION

PAVING OF NEW PARKING LOT, LOADING DOCKS AND BANKS.

PROJECT NAME: LATTY PROPERTY IMPROVEMENTS 9151 LATTY AVENUE ST. LOUIS, MO 63134

JGDD LATTY, LLC 1212 MANCHESTER RD. ST. LOUIS, MO 63131 (314) 984-0440 CONTACT: JOHN DUBUQUE, JR.

ARCHITECT:
KILLEEN STUDIO ARCHITECTS 3015 SALENA ST. ST. LOUIS, MO 63118 (314) 771-0883 CONTACT: CORI HINTERSER

2009 INTERNATIONAL BUILDING CODE 2009 INTERNATIONAL EXISTING BUILDING CODE 2011 NATIONAL ELECTRICAL CODE 2009 INTERNATIONAL MECHANICAL CODE 2009 INTERNATIONAL PLUMBING CODE 2009 INTERNATIONAL FUEL GAS CODE 2009 INTERNATIONAL PROPERTY MAINTENANCE CODE

MUSICK CONSTRUCTION 254 HANLEY INDUSTRIAL CT. ST. LOUIS, MO 63144 (314) 781-7005 CONTACT: HOLT TIPTON

HISTORIC DISTRICT: NONE ZONING: "M-1" INDUSTRIAL

HEIGHT: 1 STORY

AREA: 20,120± S.F. PARKING SURFACES 14,200± S.F. CONCRETE DRIVES

#4 HORIZ. BARS AT

TOP AND BOTTOM

SIDEWALK BEYOND -

SEE DETAIL #6/A1.1A

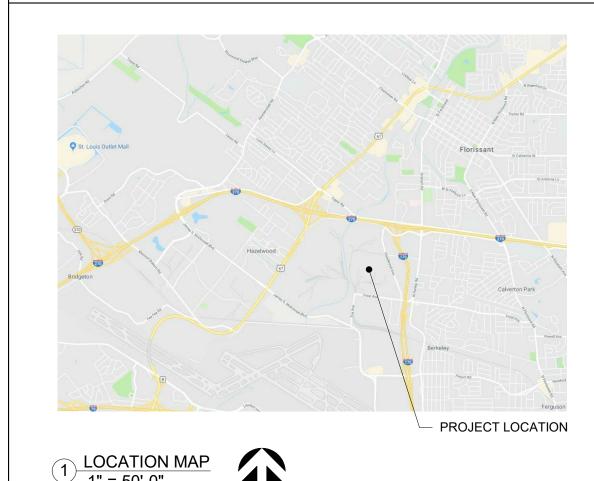
EMBED RAIL INTO

CONC. 6" MIN (TYP.)

#4 BENT DOWELS

AT 16" O.C.

SITE WORK AT: 9151 LATTY AVE, BERKELEY, MO 63134 EXHIBIT B



NORTH

SHEET INDEX Cover - Site Work

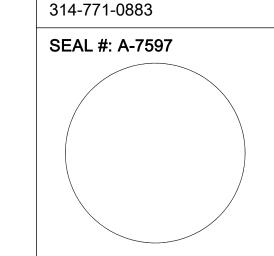
A1.1A Proposed Plans

GENERAL SITE NOTES:

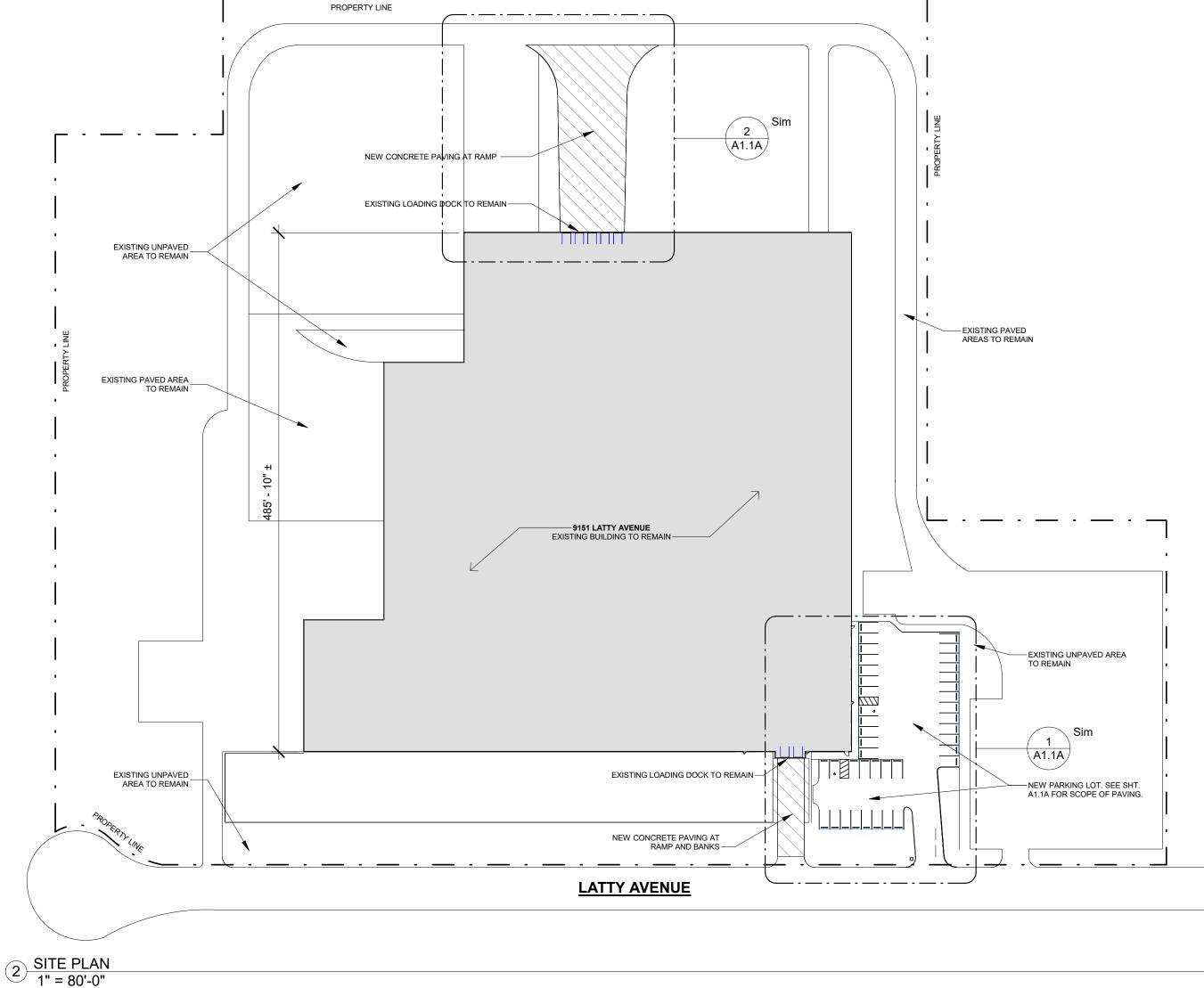
- A. EXCAVATING CONTRACTOR IS TO CONTACT ELECTRIC. WATER, SEWER AND GAS COMPANIES TO VERIFY LOCATIONS OF UTILITIES PRIOR TO ANY EXCAVATION. B. CONTROL EROSION AND PREVENT DISCHARGE OF SOIL ONTO
- ADJACENT PROPERTIES DURING CONSTRUCTION.
- C. PARKING PADS ARE DESIGNED ON THE BASIS OF ASSUMED ALLOWABLE SOIL BEARING PRESSURE
- D. SLOPE CONCRETE PADS 1/8" PER 1'-0" FOR POSITIVE DRAINAGE AWAY FROM STRUCTURE; TREADS AT ALL CONCRETE STEPS TO SLOPE 1/8" PER 1'-0" FOR POSITIVE DRAINAGE AWAY FROM STRUCTURE.
- E. EXISTING SITE DRAINAGE. SITE SLOPING TO REMAIN

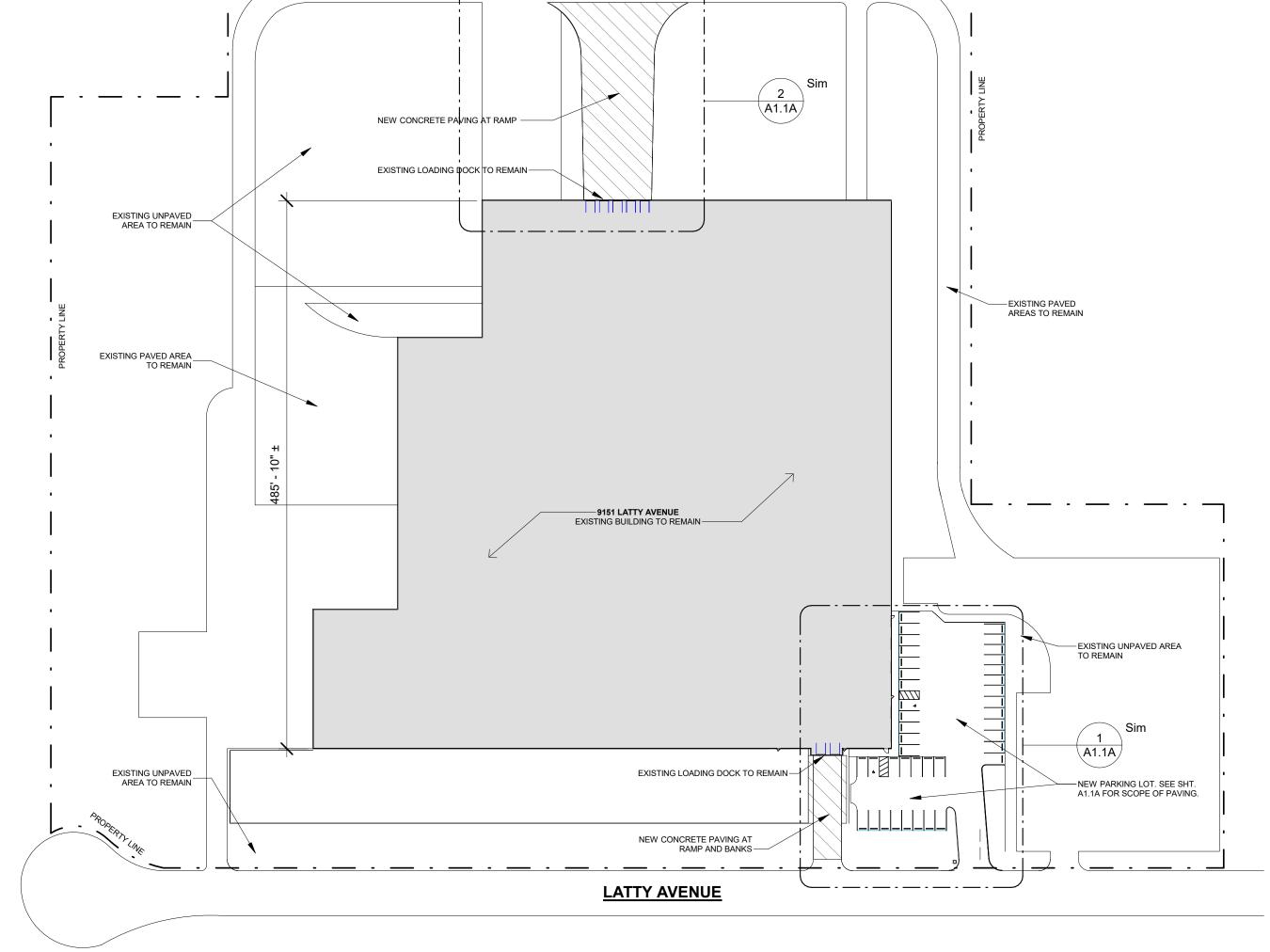
SUB-SURFACE EXPLORATION:

- A. A GEOTECHNICAL ENGINEERING INVESTIGATION OF THIS
- SITE HAS NOT YET BEEN MADE. B. OWNER SHALL COMMISSION AN INDEPENDENT VISUAL SOIL INSPECTION FROM A LOCAL GEOTECHNICAL ENGINEERING COMPANY AS REQUIRED UPON EXCAVATION FOR NEW
- C. G.C. TO COORDINATE VISUAL INSPECTION AT TIMES OF EXCAVATION.



ST. LOUIS, MO 63118





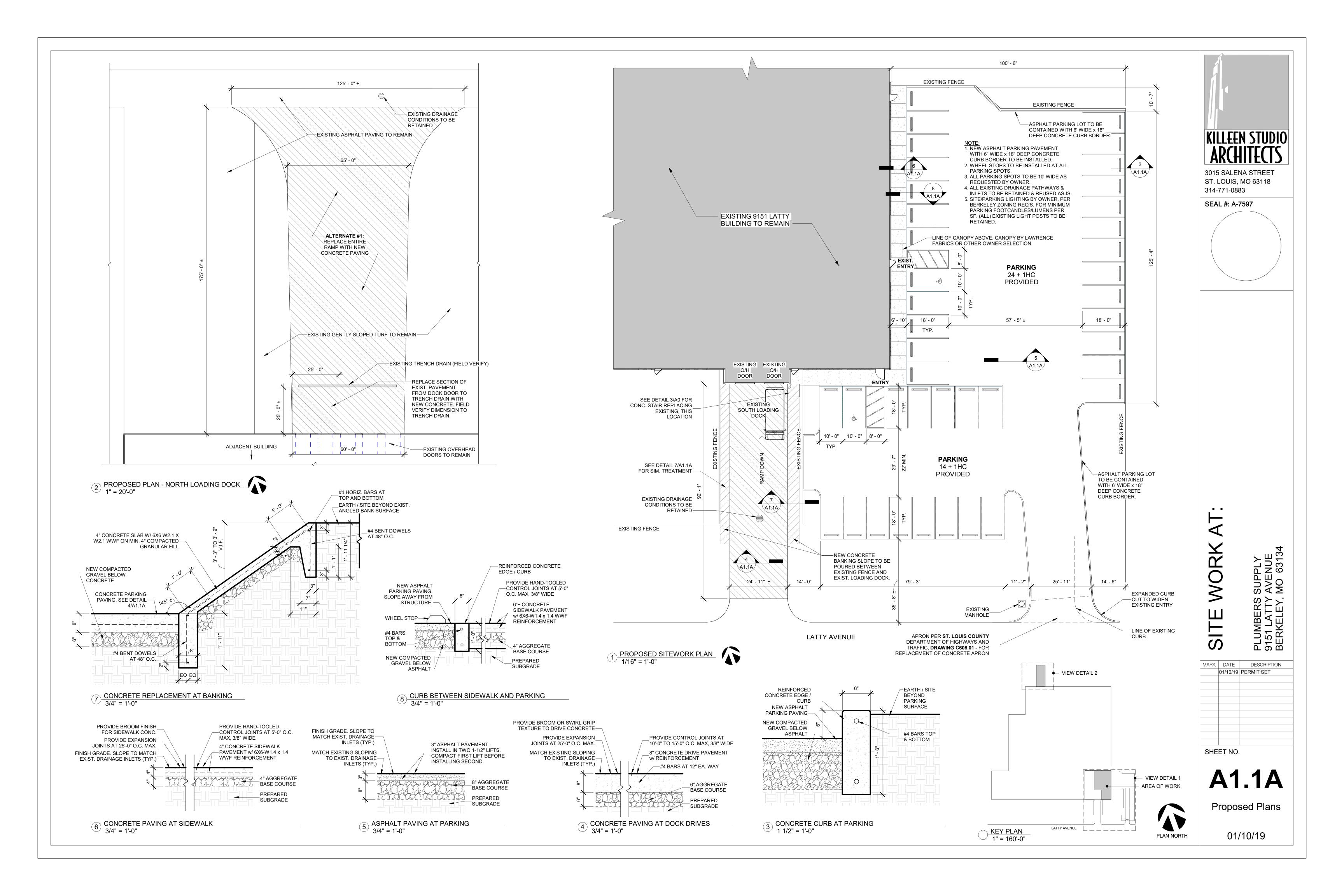


MARK DATE DESCRIPTION 01/10/19 PERMIT SET

SHEET NO.

Cover - Site Work

01/10/19



WATER HEATER

WATER PROOF

WELDED WIRE FABRIC

WITHOUT

W/O

WWF

GENERAL CONDITIONS:

THE CONTRACTOR SHALL OBSERVE ALL REGULATIONS IMPOSED BY THE APPROPRIATE GOVERNING BODIES, AND ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODES, ACCIDENT AND FIRE PREVENTION REGULATIONS. COMPLIANCE: ALL MATERIALS, EQUIPMENT, WORKMANSHIP, WORKING CONDITIONS, AND CONSTRUCTION METHODS SHALL COMPLY WITH THE LATEST APPLICABLE SECTIONS OF LOCAL, MUNICIPAL, CITY, STATE & FEDERAL CODES, ORDINANCES &

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO STARTING ANY CONSTRUCTION AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES AT THE BUILDING SITE. . THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS & CONSTRUCT ALL NEW WORK IN A NEAT & APPROVED

4. THE CONTRACTOR SHALL ESTABLISH AND VERIFY ALL OPENINGS & INSERTS FOR MECHANICAL AND ELECTRICAL WORK AS REQUIRED FOR THEIR INSTALLATION AND PER DRAWINGS (IF APPLICABLE).

5. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AND SECURITY IN & AROUND THE JOB SITE DURING CONSTRUCTION. 7. THE A.I.A. GENERAL CONDITIONS (FORM A-201 LATEST ISSUE) SHALL GOVERN AND BE PART OF THIS PROJECT.

8. THE CONTRACTOR SHALL SUBMIT/FILE FOR, PAY & SECURE ALL APPROVALS, FIRE PERMITS, TEST, AND CERTIFICATES OF COMPLIANCE & OCCUPANCY. BUILDING PERMIT TO BE APPLIED FOR BY ARCHITECT. 9. THE DIMENSIONS ON THESE DRAWINGS IN ALL CASES SUPERSEDE

SCALE. CONTRACTOR IS NOT TO SCALE DRAWINGS. 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RUBBISH SWEPT UP & REMOVED DAILY. UPON COMPLETION OF WORK, THE CONTRACTOR

SHALL LEAVE WORK IN A FINISHED CONDITION. 11. IT WILL BE THE DUTY OF THE CONTRACTORS TO COMMUNICATE IMMEDIATELY WITH EACH OTHER IN ORDER TO SCHEDULE WORK. STORAGE AREAS, ETC. IN A MANNER AND WITHIN THE TIME SPECIFIED. 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO OWNER'S

OR OTHERS PROPERTY DONE BY HIM/HER OR INDIVIDUALS IN THE CONTRACTOR'S EMPLOY, OR THROUGH NEGLIGENCE. 13. THE CONTRACTOR SHALL LOCATE THE BUILDING SITE, ESTABLISH BUILDING LINES, BENCH MARKS, FINISH FLOOR ELEVATIONS, LAYOUT

FOR PARTITIONS & OPENINGS. 14. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES BEFORE

CONSTRUCTION BEGINS. 15. ALL ARCHITECTURAL DRAWINGS ARE IN CONFIDENCE AND DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHTS AND

OTHERWISE ARE HEREBY SPECIFICALLY RESERVED. 16. IF THE CONTRACTOR DOES NOT CLEARLY UNDERSTAND THE PLANS, HE SHOULD OBTAIN THE ARCHITECT'S WRITTEN EXPLANATION PRIOR TO BIDDING, THE CONTRACTOR WILL BE HELD RIGIDLY TO

INTERPRETATIONS OF THE ARCHITECT 17. ALL ELECTRICAL, LIGHTING, MECHANICAL & PLUMBING WORK IS TO BE ON A DESIGN/BUILD BASIS BY THE GENERAL CONTRACTOR. G.C. IS TO CONFER WITH OWNER ON DESIGN OF ALL OF THESE SYSTEMS BEFORE PRESENTING CONSTRUCTION BID TO OWNER.

18. ANY TRACKING OF SOIL OR OTHER DEBRIS MUST BE CLEANED IMMEDIATELY BY THE CONTRACTOR. ALLEYS AND ROADWAYS SHOULD BE CLEANED ON A REGULAR BASIS.

19. ALL WORK TO BE COMPLETED ON OWNER'S PROPERTY. NO ENCROACHMENT ALLOWED ON NEIGHBOR'S LOT UNLESS PERMISSION GRANTED BY A PROPERTY MAINTENANCE AGREEMENT.

DEMOLITION GENERAL CONDITIONS:

THE CONTRACTOR SHALL OBSERVE ALL REGULATIONS IMPOSED BY THE APPROPRIATE GOVERNING BODIES, AND ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODES, ACCIDENT AND FIRE PREVENTION REGULATIONS. COMPLIANCE: ALL MATERIALS, EQUIPMENT WORKMANSHIP, WORKING CONDITIONS, AND CONSTRUCTION METHODS SHALL COMPLY WITH THE LATEST APPLICABLE SECTIONS OF LOCAL, MUNICIPAL, CITY, STATE & FEDERAL CODES, ORDINANCES & STANDARDS.

2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO STARTING ANY DEMOLITION AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES AT THE SITE.

THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AND SECURITY

IN & AROUND THE JOB SITE DURING CONSTRUCTION. 5. THE A.I.A. GENERAL CONDITIONS (FORM A-201 LATEST ISSUE) SHALL

GOVERN AND BE PART OF THIS PROJECT. 6. THE CONTRACTOR SHALL SUBMIT/FILE FOR, PAY & SECURE ALL APPROVALS, FIRE PERMITS, TEST, AND CERTIFICATES OF COMPLIANCE.

BUILDING PERMIT TO BE APPLIED FOR BY ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RUBBISH SWEPT UP & REMOVED DAILY. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL LEAVE WORK IN A FINISHED CONDITION.

8. IT WILL BE THE DUTY OF THE CONTRACTORS TO COMMUNICATE IMMEDIATELY WITH EACH OTHER IN ORDER TO SCHEDULE WORK, STORAGE AREAS, ETC. IN A MANNER AND WITHIN THE TIME SPECIFIED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO OWNER'S OR OTHERS PROPERTY DONE BY HIM/HER OR INDIVIDUALS IN THE CONTRACTOR'S EMPLOY, OR THROUGH NEGLIGENCE.

10. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES BEFORE DEMOLITION BEGINS. 11. ALL ARCHITECTURAL DRAWINGS ARE IN CONFIDENCE AND DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR WRITTEN CONSENT

OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHTS AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED. 12. IF THE CONTRACTOR DOES NOT CLEARLY UNDERSTAND THE PLANS, HE SHOULD OBTAIN THE ARCHITECT'S WRITTEN EXPLANATION PRIOR TO BIDDING. THE CONTRACTOR WILL BE HELD RIGIDLY TO

INTERPRETATIONS OF THE ARCHITECT. 13. ANY TRACKING OF SOIL ON ALLEYS AND ROADWAYS SHOULD BE CLEANED ON A REGULAR BASIS.

14. ALL WORK TO BE COMPLETED ON OWNER'S PROPERTY. NO ENCROACHMENT ALLOWED ON NEIGHBOR'S LOT UNLESS PERMISSION GRANTED BY A "PROPERTY MAINTENANCE AGREEMENT" w/ NEIGHBORING PROPERTY OWNER(S).

PROJECT INFORMATION:

INTERIOR IMPROVEMENTS TO EXISTING BUILDING.

PROJECT NAME: LATTY PROPERTY IMPROVEMENTS 9151 LATTY AVENUE

JGDD LATTY, LLC 1212 MANCHESTER RD. ST. LOUIS, MO 63131 CONTACT: JOHN DUBUQUE, JR.

KILLEEN STUDIO ARCHITECTS 3015 SALENA ST. ST. LOUIS, MO 63118

CONTACT: CORI HINTERSER

(314) 771-0883

2009 INTERNATIONAL BUILDING CODE 2009 INTERNATIONAL EXISTING BUILDING CODE 2008 NATIONAL ELECTRICAL CODE 2009 INTERNATIONAL MECHANICAL CODE 2009 INTERNATIONAL PLUMBING CODE

2009 INTERNATIONAL FUEL GAS CODE 2009 INTERNATIONAL PROPERTY MAINTENANCE CODE

MUSICK CONSTRUCTION 254 HANLEY INDUSTRIAL CT. ST. LOUIS, MO 63144 (314) 781-7005 CONTACT: HOLT TIPTON

HISTORIC DISTRICT: NONE

ZONING: "M-1" INDUSTRIAL

HEIGHT: 1 STORY

SPRINKLERING: FULLY SPRINKLERED (EXISTING)

FIRE ALARMING: EXIST. ALARM SYSTEM TO REMAIN

AREA / USES: 13,800± S.F.: OFFICE ("B"), RESTROOMS & BREAKROOMS:

ACT. OCCS: 8 MERCANTILE ("M"): ACT. OCCS: 20 - STORAGE ("S-1"): 6,654 S.F. ACT. OCCS: 4

ADJACENT USES: "S-1"

FIRE SEPARATIONS: NON REQUIRED BETWEEN "S", "M", "S-1" PER IBC 2009, TABLE 508.4, FOR FULLY SPRINKLERED BLDG.

PLUMBING NOTES:

1. ROUGH PLUMBING WORK TO BE DESIGNED AND BUILT BY D/B CONTRACTOR, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND SIGN-OFFS REQ. BY THE APPLICABLE CITY GOVERNING AUTHORITY + MSD IF APPLICABLE. OWNER TO APPROVE FINAL FIXTURES.

2. AVOID SUPPLY LINES AT EXTERIOR WALLS. WHEN UNAVOIDABLE, FULLY INSULATE SUPPLY LINES AT EXTERIOR WALLS TO WARD AGAINST PIPES FAILING IN COLD WEATHER.

ELECTRICAL NOTES:

1. ELECT. WORK SHALL BE DESIGNED AND BUILT BY D/B CONTRACTOR, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND SIGN-OFFS REQ. BY THE APPLICABLE CITY GOVERNING AUTHORITY, LIGHTS PHONES, ELECT. SWITCHES AND OUTLETS TO BE INSTALLED PER CODE. OWNER TO APPROVE FINAL LAYOUT AND FIXTURE SELECTION.

MECHANICAL NOTES:

1. EQUIPMENT AND ROUGH MECHANICAL WORK SHALL BE DESIGNED AND BUILT BY D/B CONTRACTOR WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND SIGN OFFS REQ. BY THE APPLICABLE CITY GOVERNING AUTHORITY.

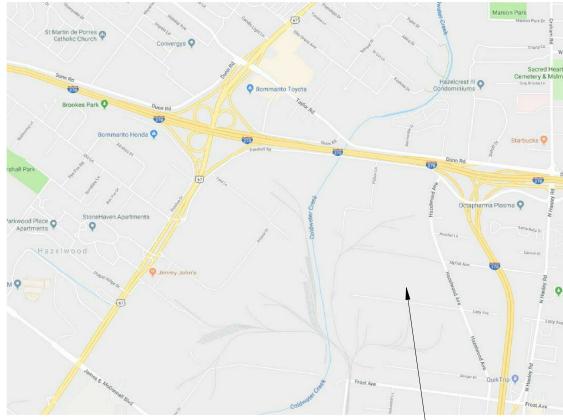
NEW DUCTWORK SHALL BE SEALED AND TESTED IN ACCORDANCE WITH PREVAILING CODE STANDARDS. 3. PENETRATIONS THROUGH (ANY) FIRE PARTITIONS BY DUCTS AND AIR TRANSFER OPENINGS SHALL COMPLY

WITH IBC-2009 SECTION 716. DUCTWORK AND MECHANICAL SYSTEMS SHALL BE SEALED FOR PROTECTION DURING CONSTRUCTION; HVAC EQUIPMENT SHALL NOT BE OPERATED DURING

CONSTRUCTION. 5. HVAC CONTRACTOR TO SUPPLY ALL HEAT LOSS CALCULATIONS AS REQUIRED PER CODE.

6. EXHAUST FANS TO VENT TO THE EXTERIOR PER CODE OR PER ALTERNATE EXHAUSTING AS PERMITTED PER PROJECT SPECIFICATION SHEET.

INTERIOR IMPROVEMENTS at: 9151 LATTY AVE, BERKELEY, MO 63134



1 LOCATION MAP

-PROJECT LOCATION

SHEET INDEX A0.0B Interior Improvements Cover A1.0B Interior Demo, Details / Scheds. A1.1B Proposed Interior Plans A1.2B Reflected Ceiling Plan A6.0B Enlarged Plans A6.0C | Project Manual



EXHIBIT B

GENERAL PROPOSED FLOOR PLAN NOTES:

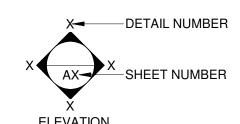
- A. NEW PARTITIONS TO BE TYPE 1 UNLESS NOTED OTHERWISE. B. ALL DOORS TO BE LOCATED 4" FROM ADJACENT PERPENDICULAR
- BY MECHANICAL CONTRACTOR COORDINATE WITH OWNER.
- D. ALL INTERIOR FINISHES AND HARDWARE SELECTION TO BE COORDINATED WITH OWNER, SEE SPECIFICATIONS FOR MORE FINISH
- E. ALL APPLIANCES AND PLUMBING FIXTURES TO BE APPROVED BY OWNER AND INSTALLED BY GENERAL CONTRACTOR.

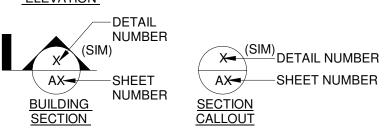
SYMBOL LEGEND

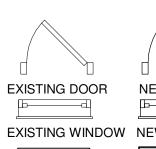
ELEVATION FLOOR DRAIN

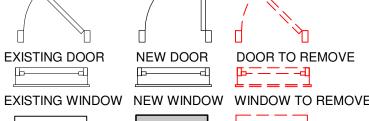
KEYNOTE (101) DOOR TAG

PARTITION TYPE







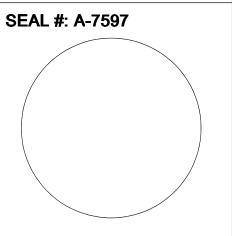


EXISTING WALL NEW WALL WALL TO REMOVE



KILLEEN STUDIO

3015 SALENA STREET ST. LOUIS, MO 63118 314-771-0883

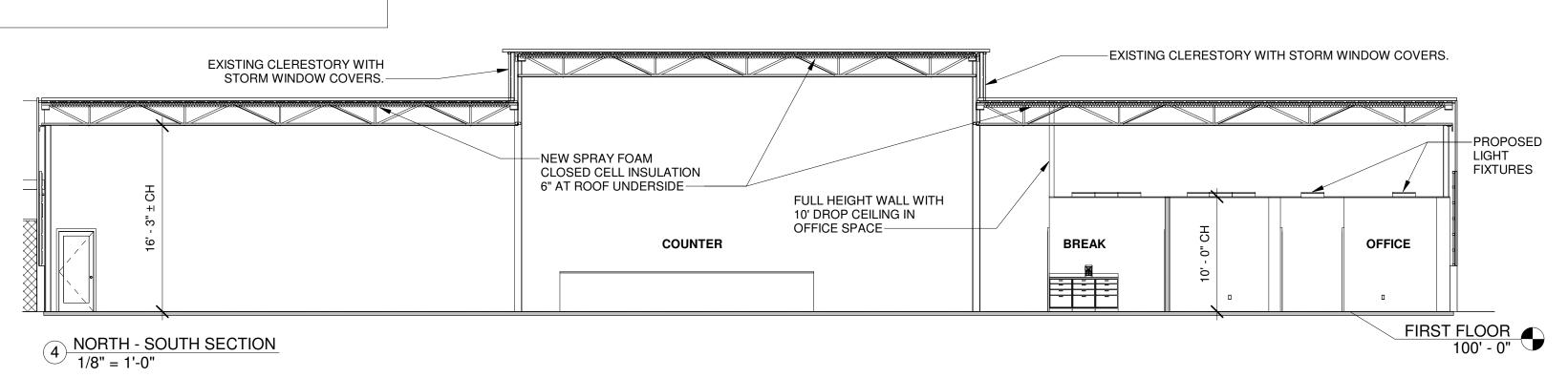


വ മെ MARK DATE DESCRIPTION SHEET NO.

Interior Improvements Cover

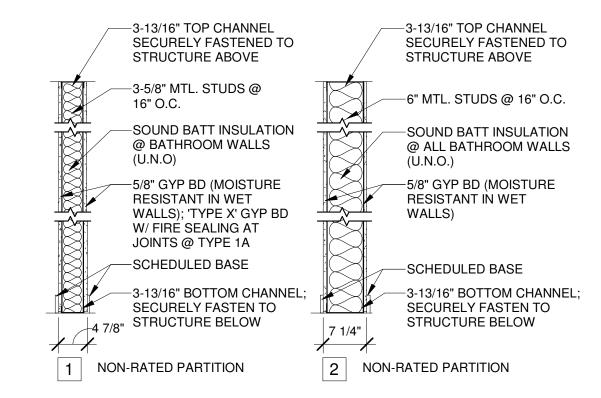
01/16/19

AREA OF WORK LATTY AVENUE





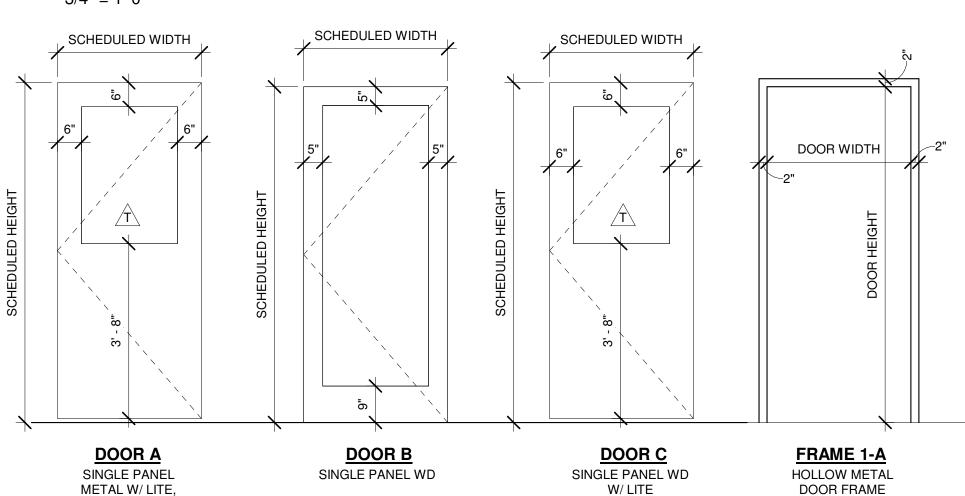




1 HOUR RATED PARTITION

1 HOUR RATED PARTITION 1B TO PENETRATE CLG. FOR 6"

Partition Types [√] 3/4" = 1'-0"



DOOR & FRAME TYPES ✓ 1/2" = 1'-0"

INSULATED

DOOR SCHEDULE							
Number	ROOM	WIDTH	HEIGHT	DOOR TYPE	FRAME TYPE	FIRE RATING	NOTES
130A	OPEN LOBBY AREA	3' - 0"	7' - 0"	Α	1-A		CLOSER
130B	INTERIOR OFFICE ENTRY	3' - 0"	7' - 0"	С	1-A	0	CLOSER, NO INSULATION
130C	EXTERIOR PLUMBERS SUPPLY ENTRY	4' - 0"	7' - 0"	Α	1-A	0	CLOSER
131	WAREHOUSE ENTRY	3' - 0"	7' - 0"	Α	1-A	45 MIN.	CLOSER, NON-GLAZED
135	EMPLOYEE RESTROOM - 135	3' - 0"	7' - 0"	В	1-A		
136	JC / MECHANICAL -136	3' - 0"	7' - 0"	В	1-A		
140	OFFICE - 140	3' - 0"	7' - 0"	С	1-A		
142	OFFICE - 142	3' - 0"	7' - 0"	С	1-A		
143	OFFICE - 143	3' - 0"	7' - 0"	С	1-A		
144	OFFICE - 144	3' - 0"	7' - 0"	С	1-A		
145	OFFICE - 145	3' - 0"	7' - 0"	С	1-A		
146	OFFICE - 146	3' - 0"	7' - 0"	С	1-A		
147	WOMEN'S - 147	3' - 0"	7' - 0"	В	1-A		
148	MEN'S - 148	3' - 0"	7' - 0"	В	1-A		CLOSER
149A	BREAK - 149	3' - 0"	7' - 0"	С	1-A		CLOSER
149B	BREAK - 149	3' - 0"	7' - 0"	С	1-A		CLOSER
151	WOMEN'S - 151	3' - 0"	7' - 0"	В	1-A		
152	MEN'S - 152	3' - 0"	7' - 0"	В	1-A		

EXISTING DOORS #100, #101, #102, AND #103 ARE EXISTING TO REMAIN AND ARE NOT LISTED IN THE DOOR SCHEDULE.

DOOR GENERAL NOTES:

- GLASS IN DOORS, TRANSOMS, SIDELIGHTS, AND STOREFRONTS SHALL BE TEMPERED GLASS. DOORS AND FRAMES SHALL BE PREPARED TO RECEIVE HARDWARE. COORDINATE WITH OWNER
- 3. PROVIDE TYPICAL COMMERCIAL DOOR HARDWARE, INCLUDING; THUMB TURN DEAD BOLT LOCKS AT
- ENTRY DOORS AND PRIVACY LOCKS AT BATHROOMS PER DOOR SCHEDULE.
- 4. EXTERIOR DOORS SHALL BE PROPERLY WEATHER-STRIPPED. PROVIDE AN ADJUSTABLE THRESHOLD; NO DAYLIGHT SHALL BE SHOWING WHERE DOOR CONTACTS FRAME OR ADJACENT DOOR. 5. DIMENSION PROVIDED ON DOOR AND WINDOW SCHEDULES ARE FOR REFERENCE ONLY. CONTRACTOR
- MUST FIELD VERIFY DIMENSIONS.
- DOOR ELEVATIONS ARE FOR REFERENCE ONLY. ALL WOOD DOORS TO BE SOLID CORE, UNLESS NOTED OTHERWISE.
- 8. ALL WOOD DOORS TO BE STAIN FINISH. COORDINATE SELECTION WITH OWNER. 9. ALL HOLLOW METAL DOORS TO BE PAINTED. COORDINATE WITH OWNER.
- 10. ALL ALUMINUM DOORS TO BE PRE-FINISHED. COORDINATE WITH OWNER.
- 11. OPAQUE: 0.70 U-VALUE, SHG: 0.40 ENTRANCE DOOR: 0.85 U-VALUE

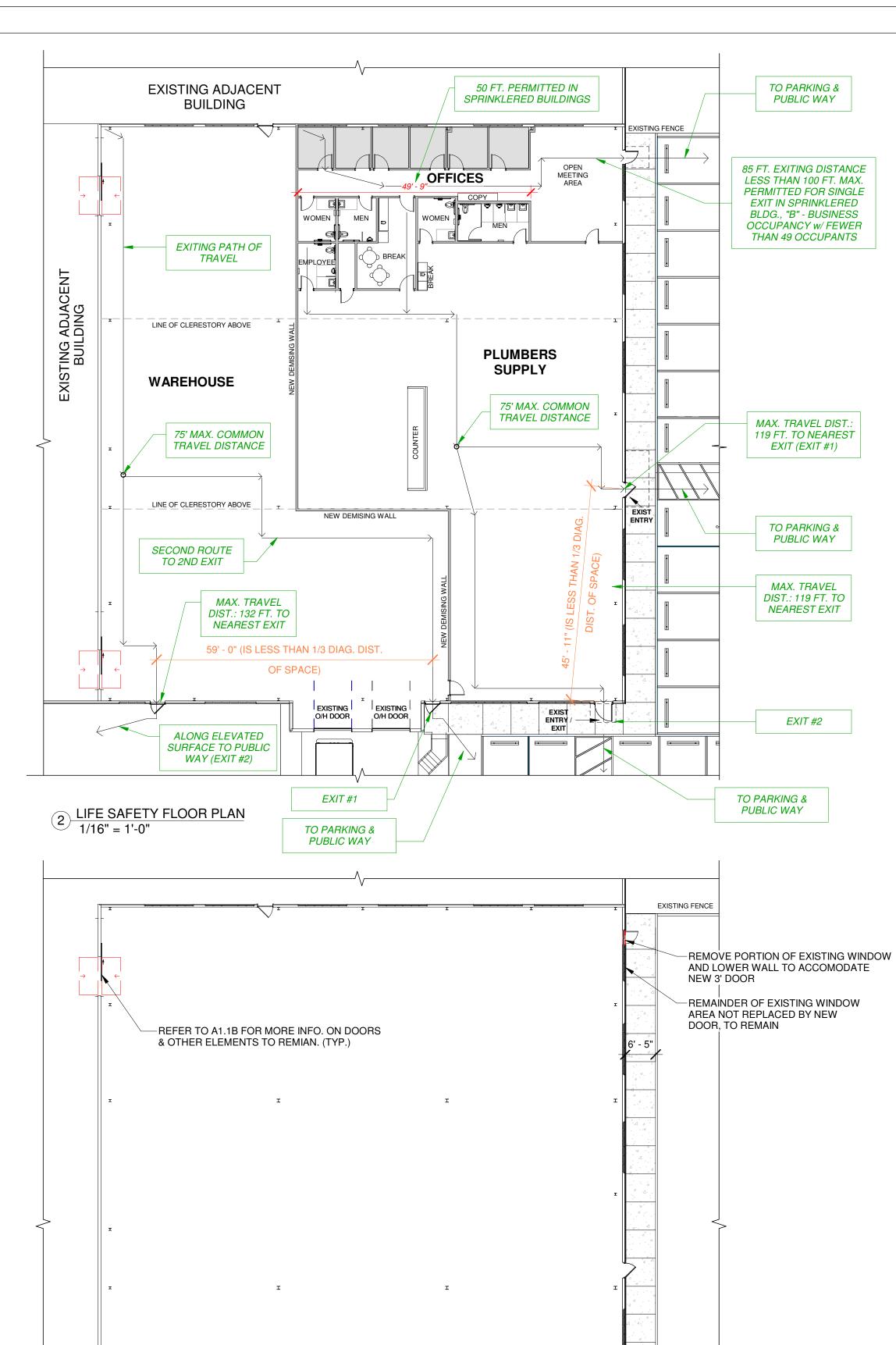
DOOR NOTES:

A. NEW DOOR IN EXISTING OPENING - GENERAL CONTRACTOR TO VERIFY EXISTING OPENING SIZE.

B. ALL EXIT DOORS TO REMAIN LOCKED DURING BUSINESS HOURS.

WINDOW GENERAL NOTES:

1. DIMENSION PROVIDED ON WINDOW SCHEDULES ARE FOR REFERENCE ONLY. CONTRACTOR MUST FIELD VERIFY DIMENSIONS.



EXIST. LOADING DOCK

1 INTERIOR DEMOLITION FIRST FLOOR PLAN

 $1/16'' = \overline{1'-0''}$

GENERAL DEMOLITION NOTES:

- A. REFER TO "KEYED NOTES" ON THIS SHEET FOR EXCEPTIONS TO THESE "GENERAL DEMOLITION NOTES"
- B. COORDINATE LIMITS OF DEMOLITION WITH NEW CONSTRUCTION. C. G.C. SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING, SHORING,
- GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE. D. G.C. TO VERIFY EXISTING UTILITY CONNECTIONS TO BE RE-USED,
- INCLUDING WATER, GAS AND ELECTRIC SERVICE. UTILITY CONNECTIONS MUST BE CERTIFIED FOR RE-USE, IN WRITING, BY A QUALIFIED LICENSED SUB-CONTRACTOR. UN-USABLE UTILITY CONNECTIONS MUST BE E. CONTRACTOR SHALL PROPERLY DISPOSE OF ALL BUILDING MATERIALS
- AND WASTE FROM THIS JOB SITE DAILY. DEMOLITION MATERIALS SHALL NOT BE LEFT ON THE SITE TO CREATE AN UNSIGHTLY CONDITION. DEMOLITION CONTRACTOR SHALL LEAVE BUILDING AND SITE IN BROOM CLEAN CONDITION. F. VERIFY RE-USE OR DISPOSAL OF INTERIOR TRIM (BASEBOARDS, DOOR
- TRIM, ETC.) BEFORE REMOVING. IF TRIM IS TO BE REUSED, REMOVE CAREFULLY AND STORE IN A SECURE LOCATION PER G.C. (TYPICAL ALL ROOMS).
- G. COORDINATE AND VERIFY WITH OWNER FOR REMOVAL OF ELECTRICAL, PLUMBING AND MECHANICAL SYSTEMS, INCLUDING BUT NOT LIMITED TO WIRING, LIGHT FIXTURES, ELECTRICAL DEVICES, PLUMBING LINES AND FIXTURES, HVAC EQUIPMENT AND DUCTWORK.
- H. BUILDING MUST BE COMPLETELY SECURED AT THE END OF EACH WORK DAY. REMOVAL OF ENTRY DOORS SHALL BE SCHEDULED AS TO MINIMIZE SECURITY RISKS. SECURE/BOARD WINDOW OPENINGS AFTER WINDOW REMOVAL.

DEMOLITION SPECIFICATIONS:

GENERAL

1. SUBMITTALS

A. Project Record Documents: Accurately record actual locations of capped and active utilities and subsurface construction.

EXECUTION

GENERAL PROCEDURES AND PROJECT CONDITIONS

- A. Comply with applicable codes and regulations for demolition operations and
- safety of adjacent structures and the public. 1. Obtain required permits.
- 2. Use of explosives is not permitted. 3. Take precautions to prevent catastrophic or uncontrolled collapse of structures to be removed; do not allow worker or public access within range
- 4. Provide, erect, and maintain temporary barriers and security devices. B. Do not begin removal until built elements to be salvaged or relocated have been

of potential collapse of unstable structures.

- C. Minimize production of dust due to demolition operations; do not use water if that
- will result in ice, flooding, sedimentation of public waterways or storm sewers, or other pollution. D. If hazardous materials are discovered during removal operations, stop work and
- notify Architect and Owner; hazardous materials include regulated asbestos containing materials, lead, PCB's, and mercury.
- E. Perform demolition in a manner that maximizes salvage and recycling of materials.

1. EXISTING UTILITIES

- A. Coordinate work with utility companies; notify before starting work and comply with their requirements; obtain required permits.
- B. Protect existing utilities to remain from damage.

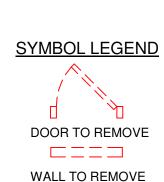
1. SELECTIVE DEMOLITION FOR ALTERATIONS

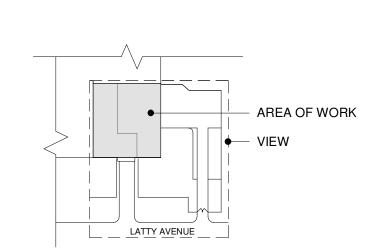
- A. Drawings showing existing construction and utilities are based on casual field observation and existing record documents only.
- Remove existing work as indicated and as required to accomplish new work. . Services (Including but not limited to HVAC, Plumbing, Fire Protection,
- Electrical, and Telecommunications): Remove existing systems and equipment as indicated. D. Protect existing work to remain.
- 1. DEBRIS AND WASTE REMOVAL A. Remove debris, junk, and trash from site.

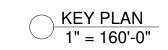
END OF SECTION

-REMOVE EXISTING DOOR AND PORTION

OF EXISTING WALL TO ACCOMODATE NEW 4' DOOR. PATCH AS NEEDED.





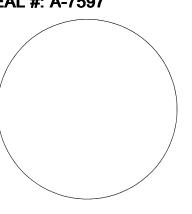






3015 SALENA STREET ST. LOUIS, MO 63118 314-771-0883

SEAL #: A-7597



\geq Ш \geq

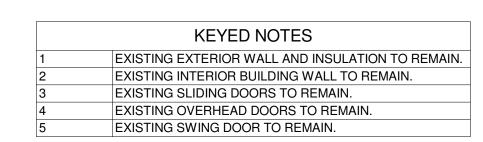
		.			
4RK	DATE	DESCRIPTION			
	01/16/2019	PERMIT SET			
SHEET NO.					

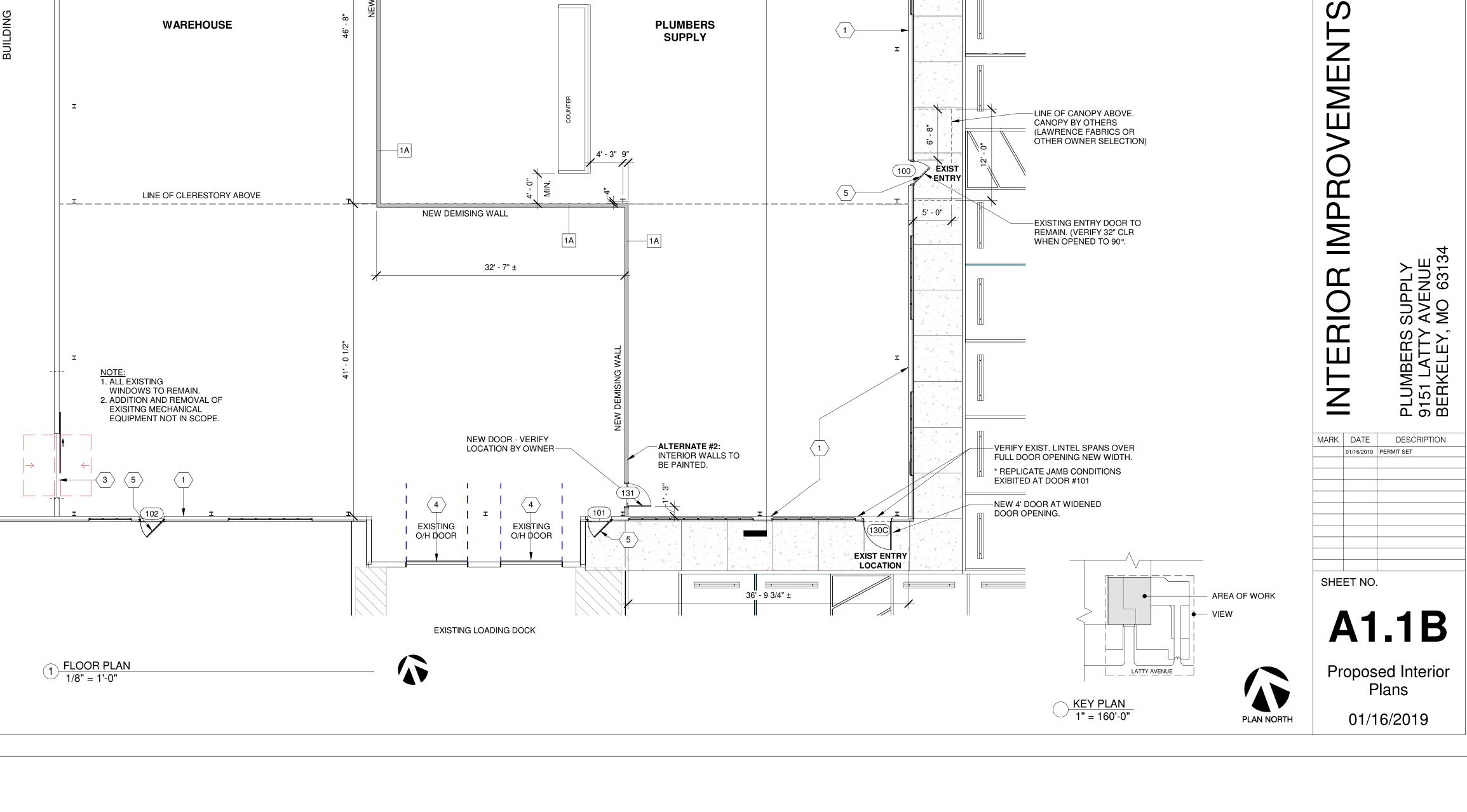
A1.0B

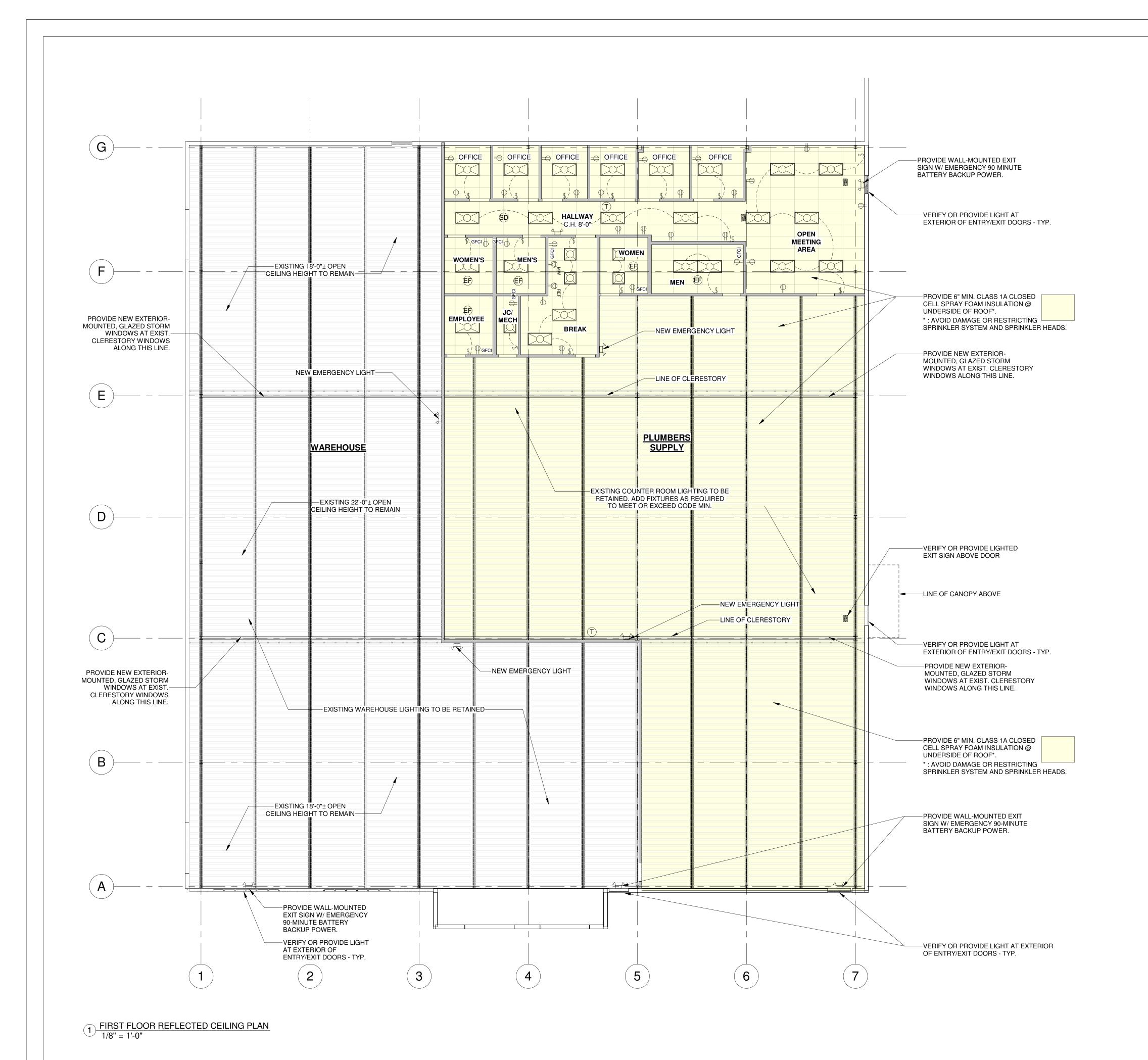
Interior Demo, Details / Scheds.

01/16/19

GENERAL PARTITION TYPE NOTES: A. TUCK POINT EXISTING EXPOSED MASONRY WALLS AS REQUIRED PRIOR TO CONSTRUCTION B. 1/2" GYPSUM BOARD MAY BE USED IN LIEU OF 5/8", TYP. **EXCEPT AT FIRE-RATED PARTITIONS**; COORDINATE WITH G.C. C. DUCTS, PIPES, AND CONDUITS SHOULD NEVER BE SUPPORTED BY, OR IN RIGID CONTACT **EXISTING ADJACENT** WITH, THE WALL. LARGE OPENINGS SHOULD BE CLOSED TO WITHIN 1/4" TO 1 1/2" OF THE BUILDING PENETRATING ELEMENT AND FINAL SEAL. D. ACOUSTICAL SEALANT IS NON-HARDENING AND PROVIDES A RESILIENT CONTACT WITH THE -NEW 3' W ENTRY DOOR IN EXIST. PENETRATING ELEMENT. OTHER BUILDING SEALANTS ARE NOT ACCEPTABLE. PROVIDE 42' - 2" ± WINDOW SPAN. EXIST. WINDOW ONLY ACOUSTICAL SEALANT IF PENETRATION LEAVES A GAP OF 1/4" OR LESS AND FILL LINTEL TO REMAIN. REMAINING VOID WITH PATCHING PLASTER. LARGER GAPS OF 1/4" TO 1" WILL REQUIRE THE VOID TO BE PACKED WITH FIBERGLASS SOUND BATTS OR MINERAL WOOL TO 1/2" OF THE EXISTING FENCE SURFACE AS BACKER. COVER BACKER WITH ACOUSTICAL SEALANT TO FILL VOID AND PATCH SURFACE WITH PATCHING PLASTER AS REQUIRED. E. NO BACK-TO-BACK ELECTRICAL DEVICES IN WALLS WITH ELECTRICAL OUTLETS ON BOTH <u>OFFICE</u> <u>OFFICE</u> **OFFICE** <u>OFFICE</u> -LINE OF CANOPY ABOVE. SIDES. MAINTAIN A MINIMUM OF 16" OF HORIZONTAL SEPARATION BETWEEN OUTLETS. THIS CANOPY BY OTHERS ALSO APPLIES TO ANY OTHER DEVICES THAT WOULD PENETRATE THE WALL SURFACE 3015 SALENA STREET (LAWRENCE FABRICS OR SUCH AS WALL SCONCES, SWITCH BOXES, ETC. OTHER OWNER SELECTION) F. ALL DIMENSIONS ARE TO FINISH FACE OF DRYWALL, U.N.O. ST. LOUIS, MO 63118 LOBBY 314-771-0883 AREA -PROVIDE STEEL CHANNEL LINTEL **GENERAL PROPOSED FLOOR PLAN NOTES:** ABOVE NEW DOOR PER DOOR # 101 EXIST. CONFIGURATION. **SEAL #: A-7597** A. NEW PARTITIONS TO BE TYPE 1 UNLESS NOTED OTHERWISE B. ALL DOORS TO BE LOCATED 4" FROM ADJACENT PERPENDICULAR 19' - 7" ± WALL (U.N.O.). -EXISTING PORTION OF C. MECHÀNICAL UNITS WILL BE LOCATED AS SHOWN OR AS DETERMINED WINDOW AREA TO REMAIN BY MECHANICAL CONTRACTOR - COORDINATE WITH OWNER. D. ALL INTERIOR FINISHES AND HARDWARE SELECTION TO BE COORDINATED WITH OWNER, SEE SPECIFICATIONS FOR MORE FINISH -NEW SIDEWALK - UNDER SEPARATE SUBMITTAL E. ALL APPLIANCES AND PLUMBING FIXTURES TO BE APPROVED BY (1) (A6.0B) OWNER AND INSTALLED BY GENERAL CONTRACTOR. —GYP. BOARD TERMINATES GYP. BOARD TERMINATES @ 6" ABOVE CEILING TILE. $-\sqrt{2}$ @ 6" ABOVE CEILING TILE.-SYMBOL LEGEND 4' - 6 1/2" 8' - 5 5/8" 15' - 9 1/4" 20' - 0 3/8" -ALTERNATE #1: EXTERIOR WALLS TO BE <u>-----</u> **ELEVATION** PAINTED. LINE OF CLERESTORY ABOVE FLOOR DRAIN TEMPERED GLASS KEYNOTE -EXISTING WINDOWS TO 101 DOOR TAG REMAIN. TYP., U.N.O. PARTITION TYPE **WAREHOUSE PLUMBERS** ——DETAIL NUMBER SUPPLY -SHEET NUMBER **ELEVATION** SHEET NUMBER LINE OF CANOPY ABOVE. X- (SIM) DETAIL NUMBER **CANOPY BY OTHERS** (LAWRENCE FABRICS OR AX— SHEET NUMBER OTHER OWNER SELECTION) ___1A IMPR(LINE OF CLERESTORY ABOVE NEW DEMISING WALL EXISTING ENTRY DOOR TO REMAIN. (VERIFY 32" CLR ---1A EXISTING DOOR NEW DOOR DOOR TO REMOVE WHEN OPENED TO 90°. EXISTING WINDOW NEW WINDOW WINDOW TO REMOVE 32' - 7" ± **EXISTING WALL** NEW WALL WALL TO REMOVE







GENERAL CEILING PLAN NOTES:

- A. LIGHTING FIXTURES SHALL BE FURNISHED AND INSTALLED BY THE G.C. U.N.O. B. LAYOUT SHOWN IS SUGGESTED ONLY; FINAL LAYOUT TO BE APPROVED AND COORDINATE
- C. FINAL LIGHTING FIXTURE SELECTION AND LOCATION OF ELECTRICAL DEVICES TO BE APPROVED BY OWNER PRIOR TO INSTALLATION.
- D. ALL CEILING HEIGHTS ARE MEASURED FROM EXISTING FINISHED FLOOR. E. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS, AND OTHER ENVIRONMENTAL
- CONTROLS IN ACCESSIBLE LOCATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF ICC/ANSI A117.1 F. OUTLETS IN WET ROOMS INCLUDING, BUT NOT LIMITED TO, KITCHENS, BATHS, AND
- RESTROOMS SHALL BE PROTECTED BY A GROUND FAULT INTERRUPTER (GFCI). G. GFCI OUTLETS ABOVE COUNTERTOPS SHALL BE SPACED NO FURTHER THAN 4FT ON
- CENTER AND BE MOUNTED A MINIMUM OF 6 INCHES ABOVE THE COUNTERTOP. H. SWITCHES FOR LIGHTS AT RESTROOMS TO BE ON OCCUPANCY SENSORS.
- I. ALL NEW CEILING HEIGHTS TO BE 10'-0" AFF UNLESS NOTICED OTHERWISE. J. REFER TO SPECIFICATIONS (PM SHEETS) FOR MORE INFORMATION.

LIGHTING AND ELECTRICAL SYMBOL LEGEND



GROUND FAULT CURRENT INTERRUPTER PROTECTED ELEC. OUTLET (15" A.F.F. OR 6" ABOVE COUNTER, U.N.O.)

REFRIGERATOR RECEPTACLE (48" A.F.F., U.N.O.)

MICROWAVE RECEPTACLE SUPPLIED ON DEDICATED SUPPLY LINE (CONFIRM LOCATION WITH OWNER)

SINGLE-POLE SWITCH (48" A.F.F., U.N.O.) EF EXHAUST FAN, VENT TO EXTERIOR PER CODE

THERMOSTAT LOCATION (48" A.F.F., U.N.O.)

CLG. MOUNTED EMERGENCY EXIT LIGHT WITH BATTERY BACK-

WALL-MOUNTED EMERGENCY EXIT LIGHT WITH BATTERY BACK-UP

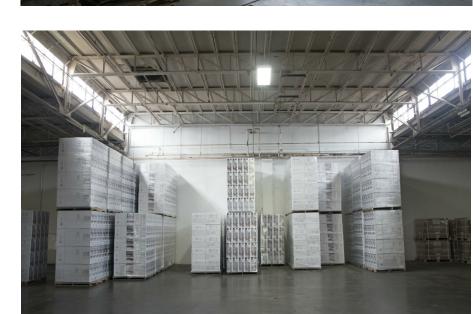
₩ WALL-MOUNTED EMERGENCY LIGHT WITH BATTERY BACK-UP

2' X 4' TROFFER LIGHT

LIGHTED EXIT SIGN

2' X 4' ACOUSTICAL CEILING TILE GRID





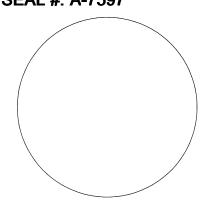
PHOTOS OF CLERESTORY FROM INTERIOR





3015 SALENA STREET ST. LOUIS, MO 63118 314-771-0883

SEAL #: A-7597



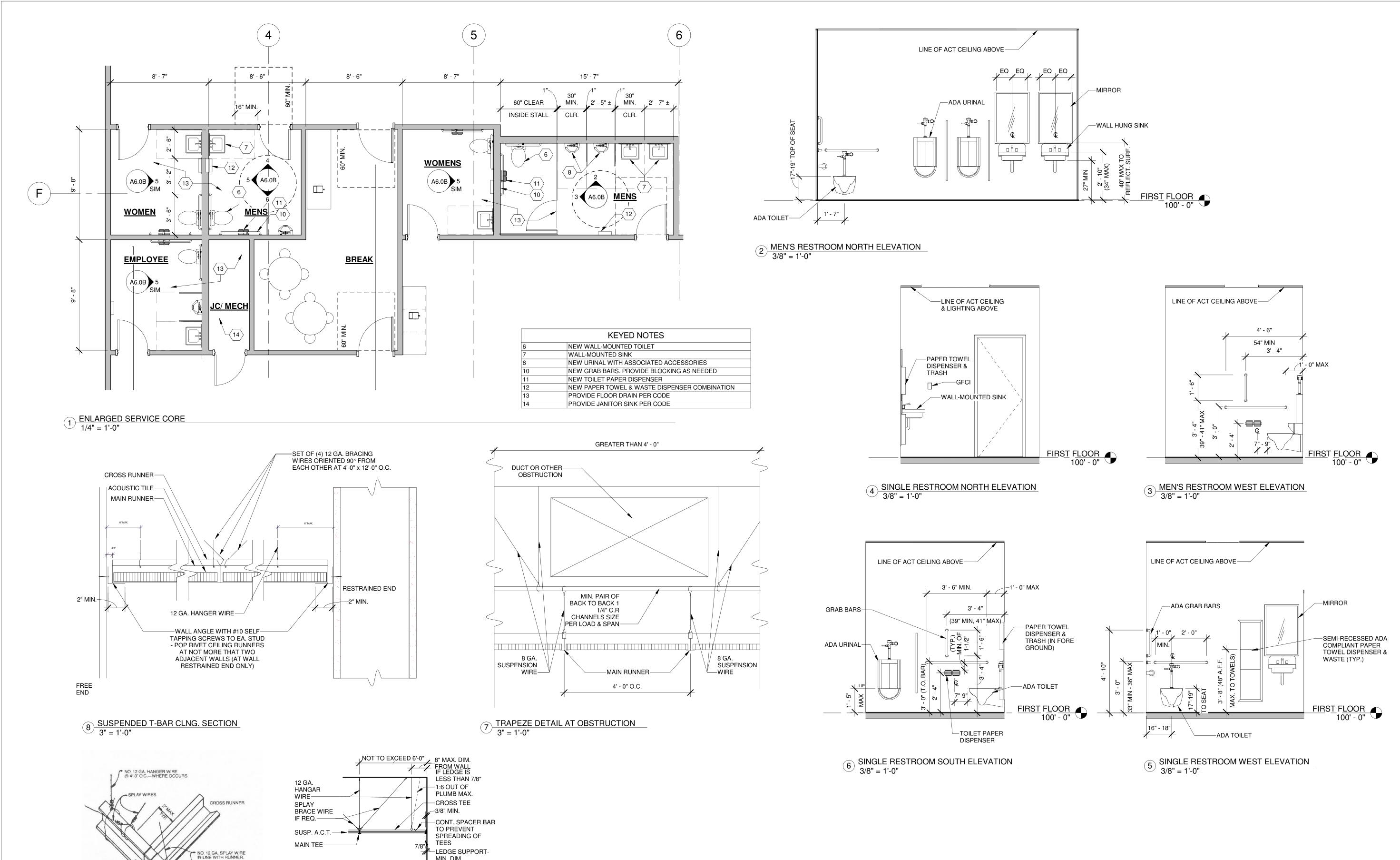
IMPR RIOR

RK	DATE	DESCRIPTION
	01/16/2019	PERMIT SET

SHEET NO.

Reflected Ceiling Plan

01/16/2019



MIN. DIM.

NOTES:

1. INSTALL SUSP. CEIL. AND SUPPORT LIGHT FIXTURES, CABLE TRAYS, CONDUITS AND CEILING MOUNTED AIR TERMINALS IN

4. PROVIDE 7/8" LEDGE W/ 3/8" MIN. CLEARANCE AT CEILING

3. SPLAY BRACE WIRES ARE NOT REQUIRED FOR CEILINGS < 2 P.S.F. CEILINGS WEIGHING MORE USE MIN. CLASS D INSTALLATION.

PENETRATIONS (E.G.: SPRINKLER HEADS, COLUMNS, ETC...)

CONFORMANCE W/ CISCA 0-2 AND ASCE 7-02. 2. USE MIN. ASTM C635 INTERMEDIATE GRID SYSTEM.

9 ACT SEISMIC WALL BRACING-CLASS C 1/2" = 1'-0"

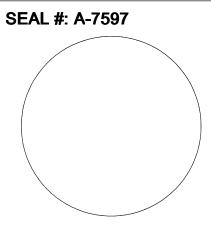
MAIN RUNNER

SEISMIC BRACING DETAIL
1/2" = 1'-0"



KILLEEN STUDIO

3015 SALENA STREET ST. LOUIS, MO 63118 314-771-0883



MEN IMPRO RIOR Ш

SUPPLY AVENUE MO 63134 PLUMBERS (9151 LATTY / BERKELEY, I

MARK DATE DESCRIPTION 01/16/2019 PERMIT SET

SHEET NO.

Enlarged Plans

01/16/2019

push pull w/ deadbolt locks at multi-user restrooms.

9. Mechanical: Electrical Panels: 11. Plumbing: A. Painting:

c. Exterior doors to receive weather resistant exterior grade locking hardware (verify specific hardware locking operation with Owner prior to boring door for d. Owner to approve all final hardware selections. A. Work shall consist of all services typically known as "Design/Build", and shall include the furnishings of Construction Documents, specifications and all materials, labor, equipment, and tools required to rework ducting and/or supplement the existing to provide heating, ventilating, and air conditioning to all new spaces. Existing systems to be evaluated by mechanical Design/Build contractor for appropriateness and capacity to remain. All "HVAC" equipment and ductwork to comply with applicable codes and to be installed per SMACNA recommendations. Subcontractor shall be responsible for mechanical permit. B. All new or renovated spaces shall have a minimum of one supply register. C. Comfort levels in existing spaces shall be maintained; comfort levels in new or renovated spaces shall match or exceed current comfort levels and meet Owner's Install HVAC ductwork in unobtrusive locations where possible to feed as per Owner's preference. The design shall satisfy all requirements of codes and regulations currently enforced by all governmental agencies having jurisdictions of the work. Gas, oil and electric heating and cooling equipment must meet nationally recognized operating standards. Thermostats shall be capable of being set from 55F to 75F for heating only and from 70F to 85F for cooling only. If the thermostat is used for heating and cooling it shall be capable of being set from 55F to 85F and shall be capable of operating the system heating and cooling sequence. It shall be adjustable to provide a temperature range of 10F between full heating and full cooling except in independent systems. For required ventilation air for residential uses, see the current local applicable mechanical code H. All HVAC equipment and ductwork shall comply with the current local applicable mechanical code. Approved vent systems for all appliances shall be installed and terminated per manufacturer's installation instructions. Combustion air-gas appliances located in closets or spaces whose volume is less than 40 cubic feet/1000 BTU/HR., input rating shall have combustion and ventilation air provided. Using inside air - 1sq. inch shall be provided/1000 BTU/HR. each opening. Openings shall not be less than 100 sq. inches. One opening shall be provided within 12" of the ceiling and within 12" A.F.F. No common ducts. a. Using Outside Air: Horizontal openings: 1 sq. inch/2000 BTU/HR. for ducted opening 2. 1 sq. inch/4000 BTU/HR. for direct opening. 2. For vertical openings - 1 sq. inch/4000 BTU ducted or direct. K. Each gas appliance shall have a gas shutoff valve and ground joint union. A sediment trap is required at each appliance or group of appliances. L. Fuel burning appliance (furnaces and water heaters) shall have a clearance of 18" minimum (or higher where required by manufacturer) between finished floor level and the combustion chamber M. Gas piping shall be identified at intervals of no more than 25 feet in concealed location and not more than 50 feet in exposed locations. N. Restrooms shall exhaust 50 CFM minimum to the exterior. It is not permissible to discharge exhaust to the attic. O. All furnaces shall be 90% plus efficiency. P. Minimum clearance for combustibles in front of furnace is 18" unless the listed manufacturer's installation instructions allow an alternate clearance dimension. Eighteen inches of 0 or less clearance is required at the front of the appliance for service. Q. All rooms or areas having air with heat, odors, or smoke shall have air exhausted to the outdoors work. Subcontractor shall be responsible for electrical permit. to walls and ceilings to accommodate electrical work shall be approved by the Owner and Architect. C. Receptacle types and locations:

A. Work shall consist of all services typically known as "Design/Build" and shall include the furnishings of Construction Documents as required, materials, labor, equipment and tools to provide service as necessary by the new work for electric, power and lighting. Modify existing systems to remain as required for the new

B. Provide complete electrical system as indicated on the contract documents for all portions of the renovation work. The design, layout, capacity and installation of the electrical system shall be the sole responsibility of the electrical contractor and shall incorporate all requirements shown in the contract documents. Changes

a. Breakroom wall receptacles at countertops shall be supplied by at least 2 different circuits. Receptacles shall be installed so that no point along the counter is more than 24" from a receptacle. All refrigerators shall be provided with receptacles. Receptacles installed face-up in counter work-surface are

b. All exterior electrical outlets and all electrical outlets in restrooms, and adjacent to sinks shall be G.F.C.I. (Ground Fault Current Interrupter).

D. Recessed fixtures (can lights) shall not be installed at insulated ceilings, exceptions: a. Where recessed fixtures are required at insulated ceilings, the recessed fixture should be Insulated Ceiling Air Tight (ICAT) rated and gasketed to maintain an airtight drywall ceiling. The fixture shall bear a label showing it meets the ASTM E 283 guideline of ≤2.0 cfm of air movement from the

conditioned space to the ceiling cavity when tested at 75 Pa and the housing should be caulked or gasketed where it meets the ceiling. b. Where recessed fixtures are installed in insulated ceiling without an attic above, the exterior surface of the fixture shall be insulated greater than R-10 to minimize condensation potential.

a. Circuit breaker panels shall not be installed in restrooms or clothes closets. Lighting is required in the vicinity of the electrical panel. Electrical panels in new construction shall not be installed in areas with less than 6'-6" headroom.

A min. of 3'-0" clearance is required in front of electrical panels.

Aluminum wiring may not be used. Panel boards shall be circuit breaker type "I.C." f. All circuits at panel shall be accurately labeled.

K. Security, Fire Detecting/Alarm and Entry Access Systems: a. Existing system (if any) is to remain. b. Coordinate (any) new system with Owner prior to ordering and installation

All materials shall be listed as approved by (U.L.) underwriter's laboratories. . All work shall be performed in accordance with the national electrical code and with all local codes, rules and ordinances.

Spec. grounding if underground pipe is used as required by NEC 250-83 and supplements as required in NEC 250-81 or 250-83. O. Electrical contractor shall provide all additional drawings (beyond Contract Documents) required for permit, permit applications, and permit fees.

Electrical Contractor is to provide all necessary connections for power to new equipment indicated on drawings (i.e. dishwasher, refrigerator, microwave, disposals, etc.). Verify final equipment requirements with Owner.

Q. Contractor is responsible for removing and relocating any wires in the path of construction. Consult with Owner concerning new location for power lines entering building if necessary. R. Owner Approvals:

Electrical Fixtures are to be approved by Owner and installed by General Contractor unless otherwise noted b. Final lighting layout shall be approved by Owner.

c. All switches, outlets, cable, telephone, and computer cover plates shall be color approved by Owner.

General Contractor shall mount boxes for all switch and outlet locations and verify final location with Owner prior to wiring. A. All plumbing work is to be provided by the General Contractor and his subcontractors on a design-build basis. Work shall consist of furnishing of Construction

Documents, materials, labor, equipment and tools to install a system or alter existing systems of plumbing and sewering as required by the new work. Subcontractor shall be responsible for plumbing permit.

B. Provide complete supply and waste systems for all fixtures indicated. Include connections required for disposal, dishwasher, etc. The design/layout and installation of the plumbing system shall be the sole responsibility of the plumbing contractor and shall incorporate all requirements shown in the Contract Documents. Changes to walls and ceilings to accommodate plumbing are to be approved by the Owner and Architect C. The design shall satisfy all requirements of codes and regulations currently enforced by all governmental agencies having jurisdictions of the work.

Plumbing contractor shall provide all additional drawings (beyond Contract Documents) required for permit, permit applications, and permit fees. All fixtures are to be white, American Standard or equal/superior units as approved by the Owner. Plumbing Fixtures are to be installed by General Contractor. Plumbing fixture types and locations indicated on floor plan.

G. Include a separate shutoff valve for each unit. Lead-free solder is required on all copper water supply piping.

Water service pipe and the building septic line are to be a minimum of 10'-0" apart horizontally. Hose bibs are to be freeze-proof, or must have a shut-off valve (with drain).

A. Maximum flame spread of any interior finish material shall be limited to 200 or less

A. The diameter width of the gripping surfaces of a handrail or grab bar shall be 1 1/4" to 1 1/2" or the shape shall provide an equivalent gripping surface. If handrails or grab bars are mounted adjacent to a wall, the space between the wall and the grab bar shall be 1 ½". Handrails may be located in a recess if the recess is a maximum of 3" deep and extends at least 18" above the top of the rail.

B. The structural strength of grab bars, tub and shower seats, fasteners and mounting devices shall meet the following specifications: a. Bending stress in a grab bar or seat induced by the maximum bending moments from the application of 250 lbf shall be less than the allowable stress b. Shear stress induced in a grab bar or seat by the application of 250 lbf shall be less than the allowable shear stress for the material of the grab bar or

seat. If the connection between the grab bar or seat and its mounting bracket on other support is considered to be fully restrained, then direct and torsional shear stresses shall be total for the combined shear stress, which shall not exceed the allowable shear stress. c. Shear force induced in a fastener of mounting device from the application of 250 lbf shall be less than the allowable lateral load of either the fastener or

mounting device or the supporting structure, whichever is the smaller allowable load. d. Tensile force induced in a fastener by a direct tension force of 250 lbf plus the maximum moment from the application of 250 lbf shall be less than the

allowable withdrawal load between the fastener and the supporting structure. Guard rails shall be designed to meet minimum lateral force code requirements. A handrail or grab bar and any wall or other surface adjacent to it shall be free of any sharp or abrasive elements. Edges shall have a min. radius of 1/8".

Minimum clear width of stairway is 44". However, handrails may project maximum 4-1/2" into the required width. Handrails at "straight-run" stairs shall be continuous. G. Stairs shall be designed for a 100 PSF live load or 300 lb. concentrated load on 4 sq. inches at mid-span of a tread - whichever is greater.

A. Fire Protection: Maximum flame spread of any interior finish material shall be limited to 200 or less.

a. All primers and paints to be low V.O.C. b. Apply all coats of materials in strict accordance with manufacturer's current published specifications and instructions to provide a smooth surface, free

c. Paint and Stain approved equals (to match quality of paint specified): Brod-Dugan, Benjamin Moore, Porter, Pratt & Lambert, Sherwin Williams.

Apply paint and stain in accordance with manufacturer's instructions, free of surface defects. Clean all adjacent surfaces of splatters, etc. e. Remove loose, scaling paint from all painted surfaces to remain. Putty and caulk as required to provide a smooth paintable surface. Paint removal methods shall be consistent with approved lead abatement procedures including wet scraping, HEPA sanding and proper disposal of hazardous waste materials. Follow with two coats exterior acrylic latex flat paint or oil base product approved by Owner.

B. Typical Paint/Stain Schedule a. Interior Gypsum Board:

One (1) sprayed or rolled-on coat Latex Primer (Benjamin Moore "Regal FirstCoat" or approved equal)

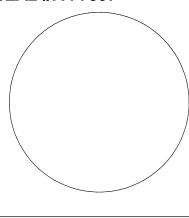
2. Two (2) rolled-on coats of Latex Semi-Gloss Paint (Benjamin Moore "Regal AquaGlo" or approved equal) b. Interior Painted Wood:

One (1) sprayed or brushed on coat Latex Primer (Benjamin Moore "Regal FirstCoat" or approved equal) Two (2) brushed (or one sprayed and one brushed) on coats of Latex Enamel Gloss Paint (Benjamin Moore "Impervex Latex High Gloss Metal & Wood Enamel" or approved equal)

One (1) coat Exterior Latex Primer (Benjamin Moore "Moorcraft Super Spec Latex Exterior Primer" or approved equal) 2. Two (2) coats Exterior Latex Medium Gloss Paint (Benjamin Moore "Moorcraft Super Spec Latex House & Trim Paint" or approved equal)

3015 SALENA STREET ST. LOUIS, MO 63118 314-771-0883

SEAL #: A-7597



 \square \geq 0 \square

	=	1 <u>9</u>			
MARK	DATE	DESCRIPTION			
		-			
	OLIEFT NO				

-UMBE 51 LA ERKEL

SHEET NO.

Project Manual

05/02/18