

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that a public hearing has been called and will be held for the City of Berkeley Missouri on Monday the **02nd day of February 2026** to begin at 7:00 P.M., in the City Hall City Council Chambers, 8425 Airport Road.

The purpose of this public hearing is to consider granting certain Special Use Permits.

1. **Case PC26-01:** Shall a request for a Special Use Permit be granted to Thoa Thai to operate an event venue located at 9400 Natural Bridge Road?

BY ORDER OF THE PLANNING COMMISSION

Posted: January 20, 2026

Time: 5:00pm



STAFF REPORT

CASE NUMBER:

PC26-01

DATE:

January 14, 2026

PETITIONER:

Thoa Thai (Jenny Thai)

PROPERTY OWNERS:

9400 LLC
6853 Olive Blvd
St. Louis, MO 63130

REQUEST:

Special Use Permit including the sale
and consumption of Liquor

PROPERTY ADDRESS:

9400 Natural Bridge Road
St. Louis, MO 63134

CURRENT ZONING:

“C-2” Local Commercial District

PROPOSED ZONING:

Zoning to remain the same

EXISTING USE:

Warehouse

PROPOSED USE:

Event Venue

RECOMMENDATIONS:

Plan Commission Recommends
Approval with Conditions



REPORT TO CITY COUNCIL

NO TAXES DUE

TO: Mayor and Councilmembers

FROM: Joanna Campbell, Public Works Secretary

DATE: January 14, 2026

SUBJECT: **PC26-01 – A request for a Special Use Permit for Thoa Thai to operate *Crystal Venue*, an event venue located at 69400 Natural Bridge Road, Berkeley, MO 63134.**

We have investigated the Subject item, above, and present the following as our findings:

BACKGROUND INFORMATION

The applicant has been renovating the building at 9400 Natural Bridge Road. Their first permit was obtained on 09/05/2024. Applicant has acquired multiple permits for the renovations. When they started renovating the property, an event center was considered a permitted use under Ordinance 4818 which was approved on 10/16/2023. Ordinance 4818 was repealed by Ordinance 4897 on 02/03/2025. The applicant is still working on renovations. Staff realized that now they are a special use due to the repealed Ordinance.

Applicant is also seeking to obtain a liquor license for the sale and consumption of alcohol on the premises.

PROPERTY LOCATION

9400 Natural Bridge Road, Berkeley, Missouri 63134
St. Louis County locator #13K610214
Area Under Roof: 19,636 ft²
Zoning: "C-2" General Commercial District

PROJECT DESCRIPTION

Applicant is needing a Special Use Permit to operate an event venue.

SECTION 400.370 ARCHITECTURAL AESTHETICS.

No building shall be greatly dissimilar in architectural style, size, mass or color so as to appear grossly unattractive, and to have a negative impact on adjacent properties and the surrounding neighborhood.

RECOMMENDATION

Plan Commission recommends approval with conditions.

SUPPORTING DOCUMENTS

Staff Report, Application, Plans, Construction Permits, Photos

SPECIAL USE PERMIT CONDITIONS:

1. Business Name: ***Crystal Venue***
2. Hours of operation: ***Daily from 9:00 AM – 11:00 PM***
3. Liquor sales and consumption allowed only during event rentals and in compliance with all rules and regulations by local, state, and federal laws.
4. Outdoor Special Events shall be approved by the City Council.
5. Unless noted as a non-conforming condition or noted herein, building and site shall comply with all applicable health, safety, building and sign code standards as required by the City of Berkeley.
6. The building, lot, landscaping and yard areas shall be maintained and kept free and clear of any debris or trash or weeds including maintenance of all landscaped areas.
7. All parking areas must be a paved surface, the parking lot should be cleaned of all the debris, weeds and trash, etc.
8. Use of snipe or directional signs to the property are prohibited
9. A sign permit is required. Banners, pennants, festoons, human sign, searchlights are *prohibited*. Business signage shall be limited to no more than 10% of window space. The petitioner will be permitted one exterior wall mounted sign at the front wall of the business.
10. No metal bars, mesh, or other durable material shall be installed over any portion of the frontage window or frontage opening in commercial buildings.
11. The premise shall be subject to adherence to City of Berkeley annual fire inspections and life safety plans.
12. All required inspections by the city are required before issuance of occupancy permit and business license.
13. The interior will be thoroughly inspected by City's Building Commissioner and Fire Department, and any and all other jurisdictions, if applicable. All permits that are required by any of said mention must be received. Once, all required inspections are completed; apply for all necessary building/occupancy & fire safety permits from the City of Berkeley, and other jurisdictions, after obtaining City Council's approval on this Special Use Permit. Commercial Occupancy permit and Business License is required and shall be posted at all times.
14. This Special Use Permit will be revoked if for any reason the applicant ceases operation and closes its doors to the public for a period of six (6) months or more and not complying with the City's Special Use Permit.
15. The Special Use Permit shall not be assigned, or sold, or conveyed, or operated by another without prior approval by the City Council and occupancy permit, building permit or business license shall be issued to such assignee until such approves is secured.
16. Any violations can be a reason for the City to revoke this permit, according to the City's current regulations. The applicant will comply with all the City's rules and regulations.
17. Prior to issuance of any Occupancy Permit, the above noted conditions, the conditions as described in the attached Report, the inspections as part of the normal occupancy permit process shall be met, and as approved by the City Council.
18. If the City Council determines that the public health, welfare and safety are adequately protected in view of the foregoing criteria, then the special use permit shall be granted; but if it is negative as to any of such paragraphs, then the special use permit shall be denied.
19. **In granting such special use permits, the City Council may provide that the permit be valid for a limited period of time not to exceed ten (10) years. Upon expiration of the time limit specified in the permit, the holder of the permit may request the permit be reviewed by the City Council, and the City Council may extend it for another limited period of time not to exceed ten (10) years. The City Council shall provide that the permit be exclusive only for the holder and non-transferable.**
20. The City Council may, in accordance with Section 400.580, institute a rezoning. The City Council, after a public hearing, may revoke a special use permit for failure of compliance with the regulations and restrictions of this Chapter or the requirements of the special use permit.





PLANNING & DEVELOPMENT APPLICATION

(Please check all that apply)

INITIAL FEE: \$350 (non-refundable)

<input type="checkbox"/> Preliminary (Plats)	<input checked="" type="checkbox"/> Special Use Permit
<input type="checkbox"/> Re-Approval (Plats)	<input type="checkbox"/> Zoning Change
<input type="checkbox"/> Amending (Plats)	<input type="checkbox"/> Resubdivision/Reconsolidation
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Business Name/Ownership Change
<input type="checkbox"/> Lot Consolidation	<input type="checkbox"/> Variance (Land Use)
<input type="checkbox"/> Street Name (New, Change)	<input type="checkbox"/> Variance (Building Code)
<input type="checkbox"/> Street Vacation	<input type="checkbox"/> Liquor/Lottery/Financials (Money Grams/Order)
<input type="checkbox"/> Medical Marijuana (Dispensary)	<input type="checkbox"/> Medical Marijuana (Grow Facility)
<input type="checkbox"/> Medical Marijuana (Researching/Testing)	<input type="checkbox"/> Building Code Appeal
<input type="checkbox"/> Food Truck - SUP \$100.00 (City Events Only)	<input type="checkbox"/> Food Truck - Fire Inspection \$75.00
<input type="checkbox"/> Food Truck Business License \$75.00	<input type="checkbox"/> Other

REQUIREMENTS:

1. Prepare one (1) legible set of drawings and one (1) PDF High Resolution copy on a USB drive detailing interior & exterior of property.
2. Submit a completed application three (3) weeks prior to Plan Commission Meeting.
3. **DO NOT** destroy, tear down or remodel proposed business structure until 'FINAL' approval by City Council.
4. If you do not submit your application in a timely manner your request will be considered on the next meeting date.

APPLICANT(S) LEGAL NAME(S): THOA THAI

APPLICANT IS (check one): PROPERTY OWNER AGENT PURCHASER OF CONTRACT TENANT

APPLICANT(S) ADDRESS: _____
Street _____

City _____ State _____ Zip _____

PHONE: (_____) _____ EMAIL: _____

LOCATION OF PROPOSED USE

STREET ADDRESS: 9400 NATURAL BRIDGE RD ST. LOUIS MO 63134

LEGAL DESCRIPTION: EVENT VENUE

PRESENT ZONING DISTRICT: RETAIL

PROPOSED ZONING DISTRICT (IF APPLICABLE): _____

PROPERTY IS PRESENTLY BEING USED AS FOLLOWS: WAREHOUSE

PROPERTY TO BE USED FOR (TYPE OF BUSINESS): EVENT VENUE

DAYS & HOURS OF OPERATION ETC: DAILY 11 AM → 11 PM

PROPOSED NAME OF BUSINESS: CRYSTAL VENUE

APPROXIMATE SIZE OF TRACT: ACRES _____ SQ. FT. OF SPACE (UNDER ROOF) 20,000 SF



PUBLIC WORKS DIVISION | 8425 Airport Road, Berkeley, Missouri 63134-2098 (314) 524-3313 FAX: (314) 264-2074

IF APPLICANT IS NOT THE PROPERTY OWNER:

PROPERTY OWNER(S) NAME: N/A

PROPERTY OWNER(S) ADDRESS: _____
STREET

CITY _____ STATE _____ ZIP _____

PHONE: (_____) ____ - ____ EMAIL: _____

I HAVE AUTHORITY TO ACT ON BEHALF OF THE PROPERTY OWNER: _____

Applicant(s) Signature

By signing this application, the owner(s) and applicant(s) attest that all information and facts provided on this form and attachments are complete and accurate and that any omission or incorrect fact or information may invalidate any notice or subsequent action taken by the City of Berkeley Board of Adjustments, City of Berkeley Planning & Zoning Commission. (All applicants and owners shall sign the application. Attach additional name/address/signature/date pages as needed.)

Signature
Applicant(s) Signature

Date: 12/23/2025

Signature
Property Owner(s) Signature:

Date: 12/23/2025

OFFICE USE ONLY

All items necessary for a technical review of the proposed special use permit plan have been submitted and constitute a COMPLETE APPLICATION.

Staff Signature: McCampbell

Date: 12/23/2025

Date Paid: 12/26/2025

Cash

Check

Money Order

Debit/Credit

Online

Receipt No: 77402 Case No: PC26-01



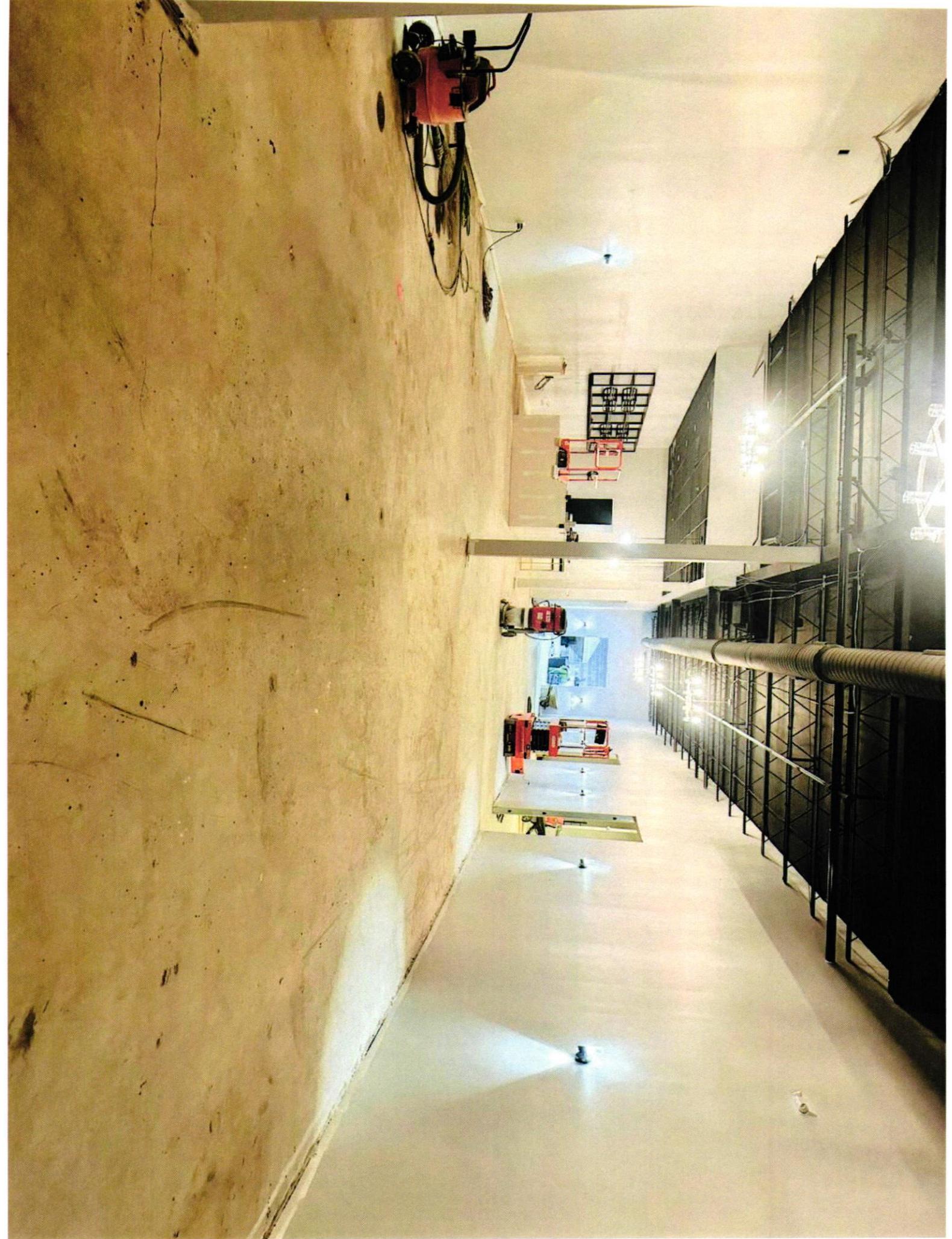
DESCRIPTION AND EXPLANATION OF PROPOSED PROJECT:

EVENT SPACE - CORPORATE EVENTS, PARTIES,

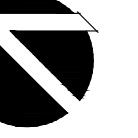
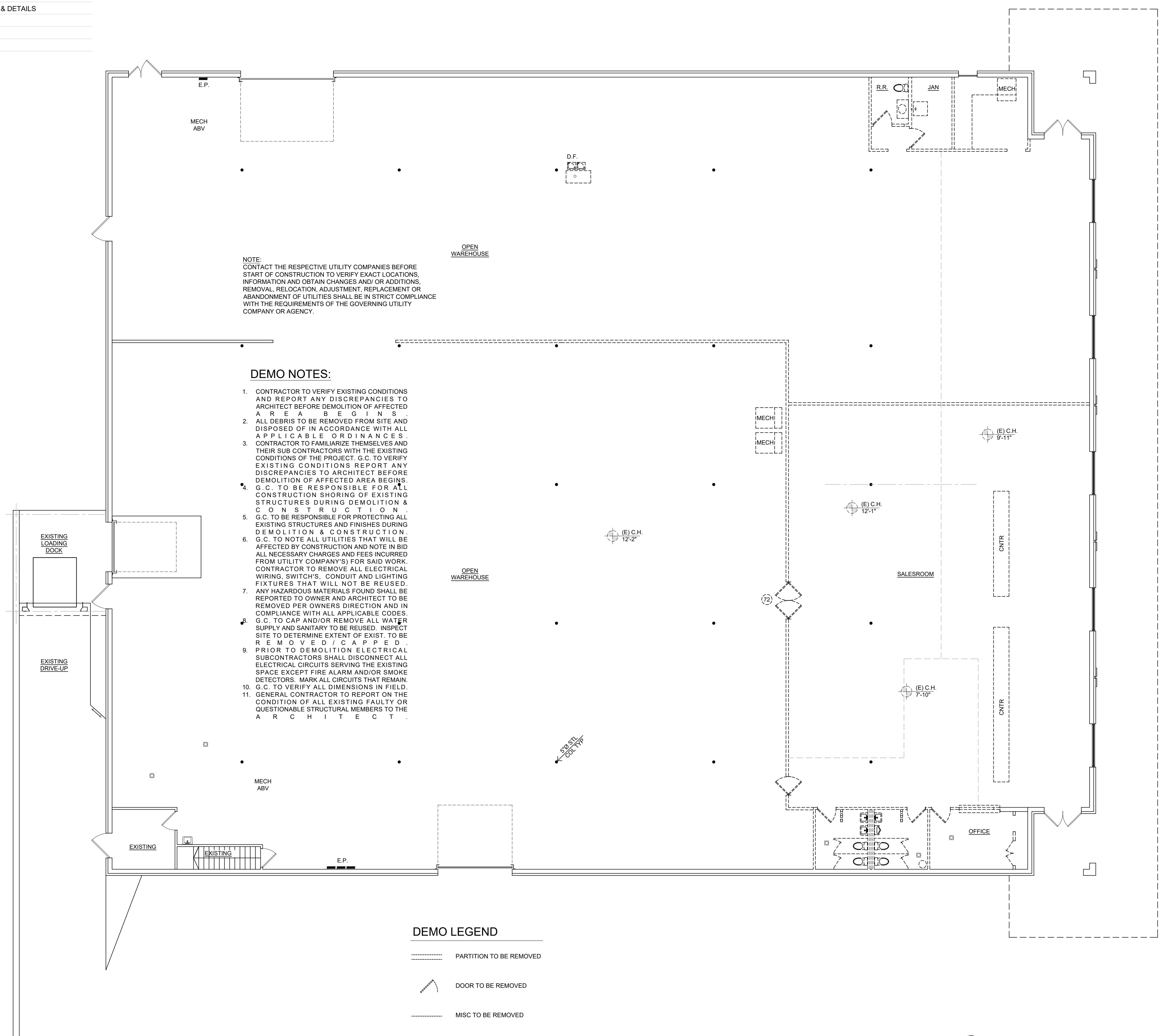
BIRTHDAY CELEBRATIONS, WEDDINGS...

WE WILL APPLY A LIQUOR LICENCE TO PERMIT
THE SALE AND CONSUMPTION OF ALCOHOL ON THE
PREMISES.





PROJECT INFO: <p>OWNER: 9400 LLC CLIENT: WAYNE HO P. (314) 584-9004 ARCHITECT: AD:ARCH ANTHONY DUNCAN ARCHITECT 4527 VIRGINIA AVE. ST. LOUIS, MO 63111 T. (314) 832-3350 F. (314) 832-3340</p>		DRAWING INDEX: <p>A0 COVER SHEET & DEMO PLAN A1 FLOOR PLAN A2 REFLECTED CEILING PLAN A3 ENLARGED PLANS & DETAILS</p>
BUILDING DATA: <p>MUNICIPALITY: BERKELEY, MISSOURI BUILDING CODES: 2015 INT'L RESIDENTIAL CODE (IRC) 2015 INT'L ENERGY CONSERVATION CODE (IECC) 2015 INT'L PROPERTY MAINTENANCE CODE (IPMC) 2015 INT'L PLUMBING CODE (IPLC) 2015 INT'L MECHANICAL CODE (IMC) 2015 INT'L FUEL GAS CODE (IFGC) 2014 NATIONAL ELECTRIC CODE (NEC) 2015 INT'L BUILDING CODE (IBC) 2015 INT'L EXISTING BUILDING CODE (IEBC) 2015 INT'L FIRE COE (IFC) USE GROUP CLASSIFICATION: (A2) - ASSEMBLY CONSTRUCTION CLASSIFICATION: 2B, UNPROTECTED NON-COMBUSTIBLE (SPRINKLERED)</p>		AD:ARCH Anthony Duncan Architect 4527 Virginia Avenue St. Louis, MO 63111 Phone: (314) 832-3350 Fax: (314) 832-3340 SEAL
<p>9400 NATURAL BRIDGE RD ST. LOUIS, MISSOURI 63134</p>		LOCATION MAP NOT TO SCALE 
GENERAL CONDITIONS: <p>1. ALL CONTRACTORS SHALL OBSERVE ALL REGULATIONS IMPOSED BY THE APPROPRIATE GOVERNING BODIES, AND ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODES, ACCIDENT AND FIRE PREVENTION REGULATIONS, ALL MATERIALS, EQUIPMENT, WORKMANSHIP, WORKING CONDITIONS, AND CONSTRUCTION METHODS SHALL COMPLY WITH THE LATEST APPLICABLE SECTIONS OF LOCAL, MUNICIPAL, CITY, STATE & FEDERAL CODES, ORDINANCES, & STANDARDS.</p> <p>2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO STARTING ANY CONSTRUCTION AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES AT THE BUILDING SITE.</p> <p>3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS & CONSTRUCT ALL NEW WORK IN A NEAT & APPROVED MANNER.</p> <p>4. THE CONTRACTOR SHALL ESTABLISH AND VERIFY ALL OPENINGS & INSERTS FOR MECHANICAL AND ELECTRICAL WORK AS REQUIRED FOR THEIR INSTALLATION AND PER DRAWINGS (IF APPLICABLE).</p> <p>5. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE.</p> <p>6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AND SECURITY IN & AROUND THE JOB SITE DURING CONSTRUCTION.</p> <p>7. THE A.I.A. GENERAL CONDITIONS (FORM A-201 LATEST ISSUE) SHALL GOVERN AND BE PART OF THIS PROJECT.</p> <p>8. THE CONTRACTOR SHALL SUBMIT / FILE FOR, PAY & SECURE ALL APPROVALS, BUILDING PERMITS, FIRE PERMITS, TEST, AND CERTIFICATES OF COMPLIANCE & OCCUPANCY.</p> <p>9. THE DIMENSIONS ON THESE DRAWINGS IN ALL CASES SUPERSEDE SCALE. CONTRACTOR IS NOT TO SCALE DRAWINGS.</p> <p>10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RUBBISH SWEPT UP & REMOVED. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL LEAVE WORK IN A FINISHED CONDITION.</p> <p>11. IT WILL BE THE DUTY OF THE CONTRACTORS TO COMMUNICATE IMMEDIATELY WITH EACH OTHER IN ORDER TO SCHEDULE WORK, STORAGE AREAS, ETC. IN AN APPROVED MANNER AND WITHIN THE TIME SPECIFIED.</p> <p>12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO OWNER'S OR OTHER'S PROPERTY DONE BY HIM/HER OR INDIVIDUALS IN THE CONTRACTOR'S EMPLOY, OR THROUGH NEGLIGENCE.</p> <p>13. THE CONTRACTOR SHALL LOCATE THE BUILDING SITE, ESTABLISH BUILDING LINES, BENCH MARKS, FINISH FLOOR ELEVATIONS, LAYOUT FOR PARTITIONS & OPENINGS.</p> <p>14. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES BEFORE CONSTRUCTION BEGINS.</p> <p>15. ALL ARCHITECTURAL DRAWINGS ARE IN CONFIDENCE AND DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHTS AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED.</p> <p>16. IF THE CONTRACTOR DOES NOT CLEARLY UNDERSTAND THE PLANS, HE/SHE SHOULD OBTAIN THE ARCHITECT'S WRITTEN EXPLANATION PRIOR TO BIDDING. THE CONTRACTOR WILL BE HELD RIGIDLY TO INTERPRETATIONS OF THE ARCHITECT.</p> <p>17. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT TYPICAL FOR STANDARD CONSTRUCTION OF ANY OF THE WORK, SHALL BE INCLUDED IN THIS CONTRACT DOCUMENT SET AS THOUGH IT WERE SHOWN IN THE DOCUMENTS.</p> <p>18. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED IN THE CONTRACT DOCUMENTS, AS WELL AS ANY OTHER WORK REQUIRED TO COMPLETE THE WORK AS DESIGNED.</p> <p>19. ALL MECHANICAL & PLUMBING WORK IS TO BE ON A DESIGN/BUILD BASIS BY THE GENERAL CONTRACTOR. G.C. IS TO CONFER WITH OWNER ON DESIGN OF ALL OF THESE SYSTEMS BEFORE PRESENTING CONSTRUCTION BID TO OWNER.</p> <p>20. ALL FINISH INFORMATION SHALL BE PROVIDED BY OWNER.</p> <p>21. ALL HARDWARE SELECTIONS SHALL BE APPROVED BY OWNER.</p> <p>22. ALL PRODUCTS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, RECOMMENDATIONS, & LOAD CRITERIA.</p>		



REV	DATE	ISSUE
3/21/24		PERMIT
5/9/24		REVISIONS
6/18/24		OWNER REV
7/16/24		OWNER REV
8/30/24		OWNER REV

SHEET NAME:
COVER SHEET & DEMO
PLAN

SHEET NUMBER:

EVENT SPACE CONVERSION
TO EXISTING BUILDING9400 NATURAL BRIDGE RD
ST. LOUIS, MISSOURI 63134

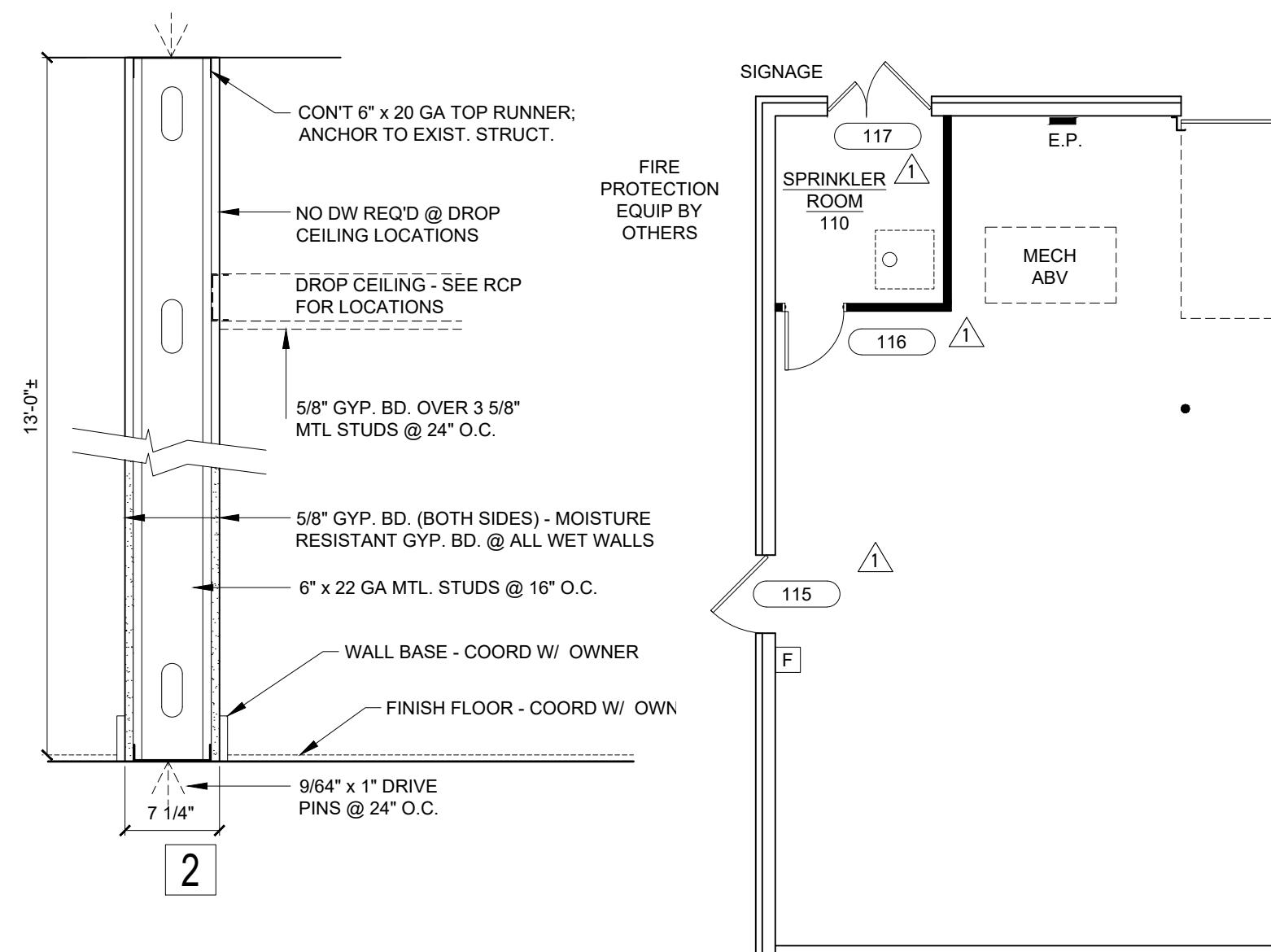
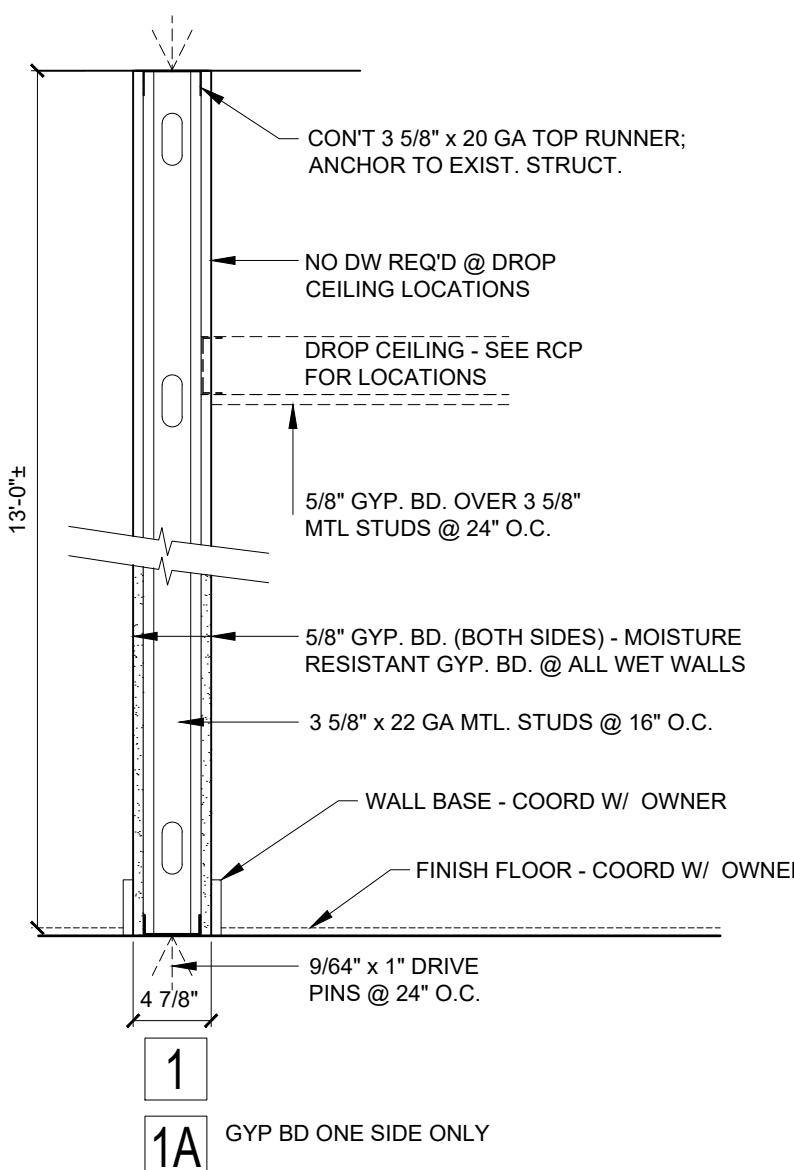
REV	DATE	ISSUE
3/21/24		PERMIT
5/9/24		REVISIONS
6/18/24		OWNER REV
7/16/24		OWNER REV
8/30/24		OWNER REV

SHEET NAME:
FLOOR PLAN

SHEET NUMBER:

A1

PARTITION TYPES:



BUILDING OCCUPANCY (A2 BANQUET HALL):

EVENT ENTRY 100: 233 SF = 0 OCCUPANTS	0 OCC
Hallway, Non-Occupiable Space	
LOUNGE 101: 647 SF / 15 = 44 OCCUPANTS	44 OCC
Assembly (unconcentrated tables & chairs) = 15 net	
LOUNGE HALLWAY 102: 1,233 SF = 0 OCCUPANTS	0 OCC
Hallway, Non-Occupiable Space	
BAR 103: 135 SF / 200 = 1 OCCUPANT	1 OCC
Commercial Kitchen Areas = 200 gross	
WOMEN'S RESTROOM 104: 63 SF = 0 OCCUPANTS	0 OCC
Non-Occupiable Space	
MEN'S RESTROOM 105: 53 SF = 0 OCCUPANTS	0 OCC
Non-Occupiable Space	
LOADING 106: 235 SF / 300 = 1 OCCUPANTS	1 OCC
Shipping Areas = 300 gross	
WAREHOUSE 107: 5,888 SF / 500 = 12 OCCUPANTS	12 OCC
Warehouses = 500 gross	
STAIR 108: 50 SF = 0 OCCUPANTS	0 OCC
Non-Occupiable Space	
UTILITY 109: 98 SF / 300 = 1 OCCUPANT	1 OCC
Mechanical Equipment Room = 300 gross	
SPRINKLER ROOM 110: 83 SF / 300 = 1 OCCUPANT	1 OCC
Mechanical Equipment Room = 300 gross	
RESTROOMS 111: 927 SF = 0 OCCUPANTS	0 OCC
Non-Occupiable Space	
DINING 112: 7,954 SF / 15 = 531 OCCUPANTS	531 OCC
Assembly (unconcentrated tables & chairs) = 15 net	
JANITOR 113: 87 SF / 300 = 1 OCCUPANT	1 OCC
Mechanical Equipment Room = 300 gross	
SERVICE ENTRY 114: 228 SF = 0 OCCUPANTS	0 OCC
Hallway, Non-Occupiable Space	
GROOM 115: 131 SF / 50 = 3 OCCUPANTS	3 OCC
Locker Rooms = 50 gross	
BRIDE 116: 197 SF / 50 = 4 OCCUPANTS	4 OCC
Locker Rooms = 50 gross	
BACK OF HOUSE 117: 744 SF / 300 = 3 OCCUPANTS	3 OCC
Storage Areas = 300 gross	
PLATFORM STAGE 118: 480 SF / 15 = 32 OCCUPANTS	32 OCC
Stages and Platforms = 15 gross	
OFFICE 119: 75 SF / 100 = 1 OCCUPANTS	1 OCC
Business Areas = 100 gross	
TOTAL	635 OCCUPANTS (318 MEN & 318 WOMEN)

Section 1005 Means of Egress

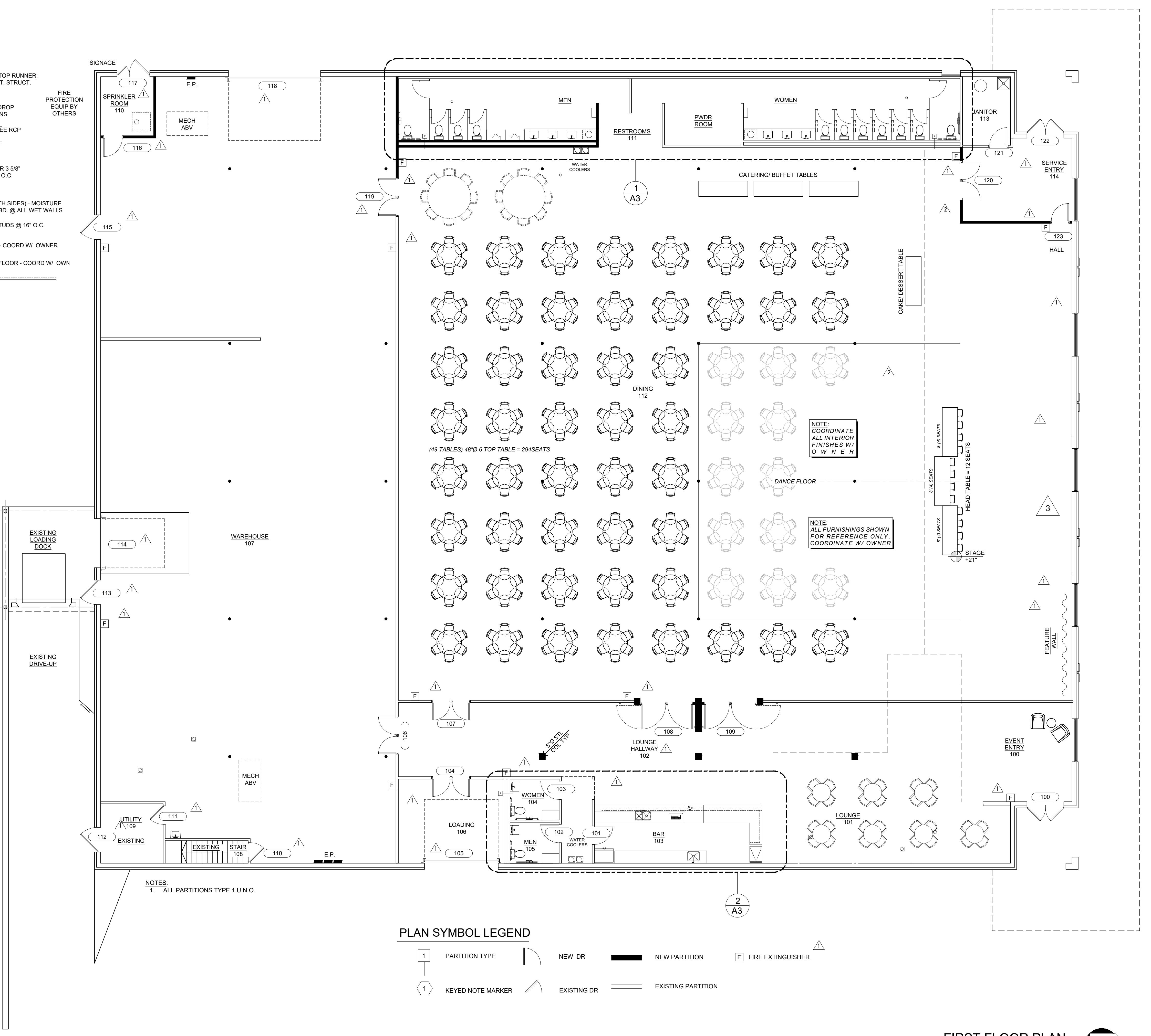
635 OCC X 0.2 = 127" REQ'D (MIN 32" PER 1010.1.1)

Size of Doors:
The required capacity of each door opening shall be sufficient for the occupant load thereof and shall provide a minimum clear width of 32 inches (813 mm). Clear

EGRESS DOOR WIDTH PROVIDED: 252" (SEVEN 36" DOORS)

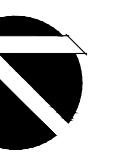
PLUMBING FIXTURE COUNTS:
(PER TABLE 403.1 2015 IPC)635 TOTAL OCCUPANTS
(318 MEN & 318 WOMEN)

A-2 OCCUPANCY:	REQ'D	REQ'D	PROVIDED
WATER CLOSETS 1 PER 75	5	5	
< 50% OF WC (419.2)	0	2	
LAVATORIES 1 PER 200	2	4	
 318 MEN	 5	 8	
WATER CLOSETS 1 PER 75	5	5	
LAVATORIES 1 PER 200	2	4	
 318 WOMEN	 1	 4	
SERVICE SINK 1 PER 500	1	1	
DRINKING FOUNTAINS 1 PER 500	2	4	



PLAN SYMBOL LEGEND

1	PARTITION TYPE	NEW DR	NEW PARTITION
1	KEYED NOTE MARKER	EXISTING DR	EXISTING PARTITION





EVENT SPACE CONVERSION TO EXISTING BUILDING

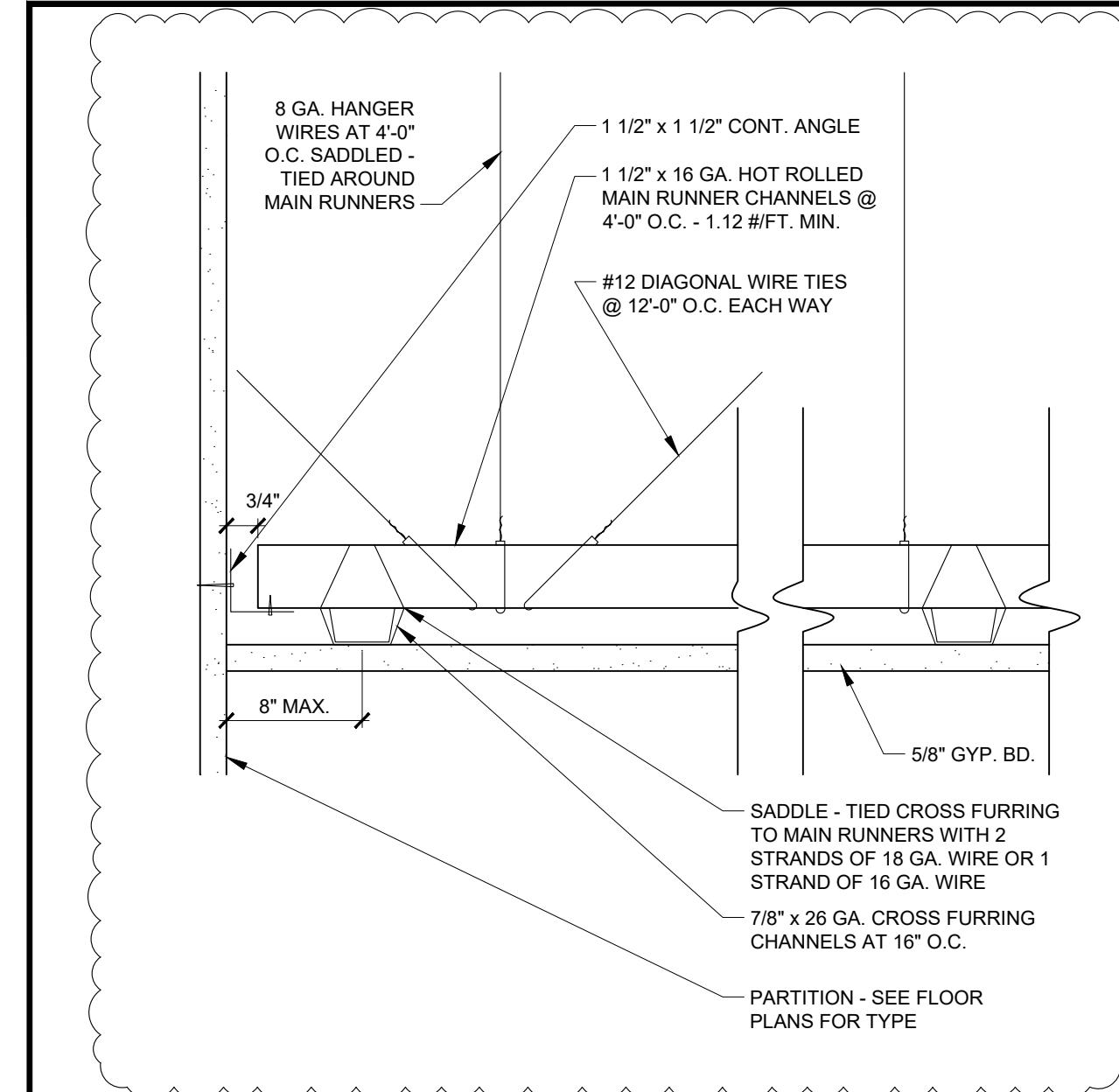
9400 NATURAL BRIDGE RD
ST. LOUIS, MISSOURI 63134

REV	DATE	ISSUE
3/21/24		PERMIT
5/9/24		REVISIONS
6/18/24		OWNER REV
7/16/24		OWNER REV
8/30/24		OWNER REV

SHEET NAME:
REFLECTED CEILING PLAN

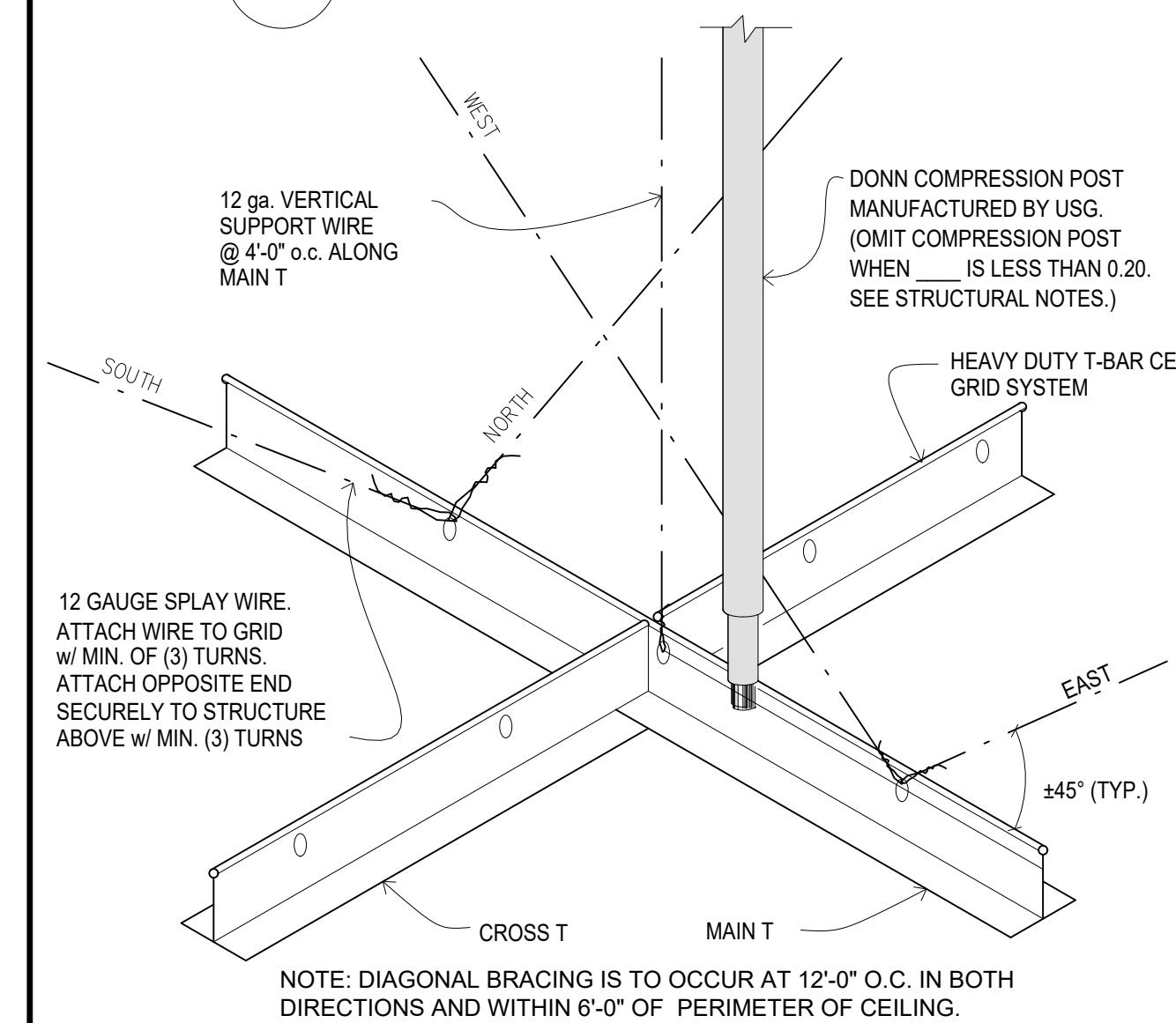
SHEET NUMBER:

A2



A SECTION THRU CEILING

SCALE: NONE

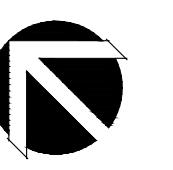
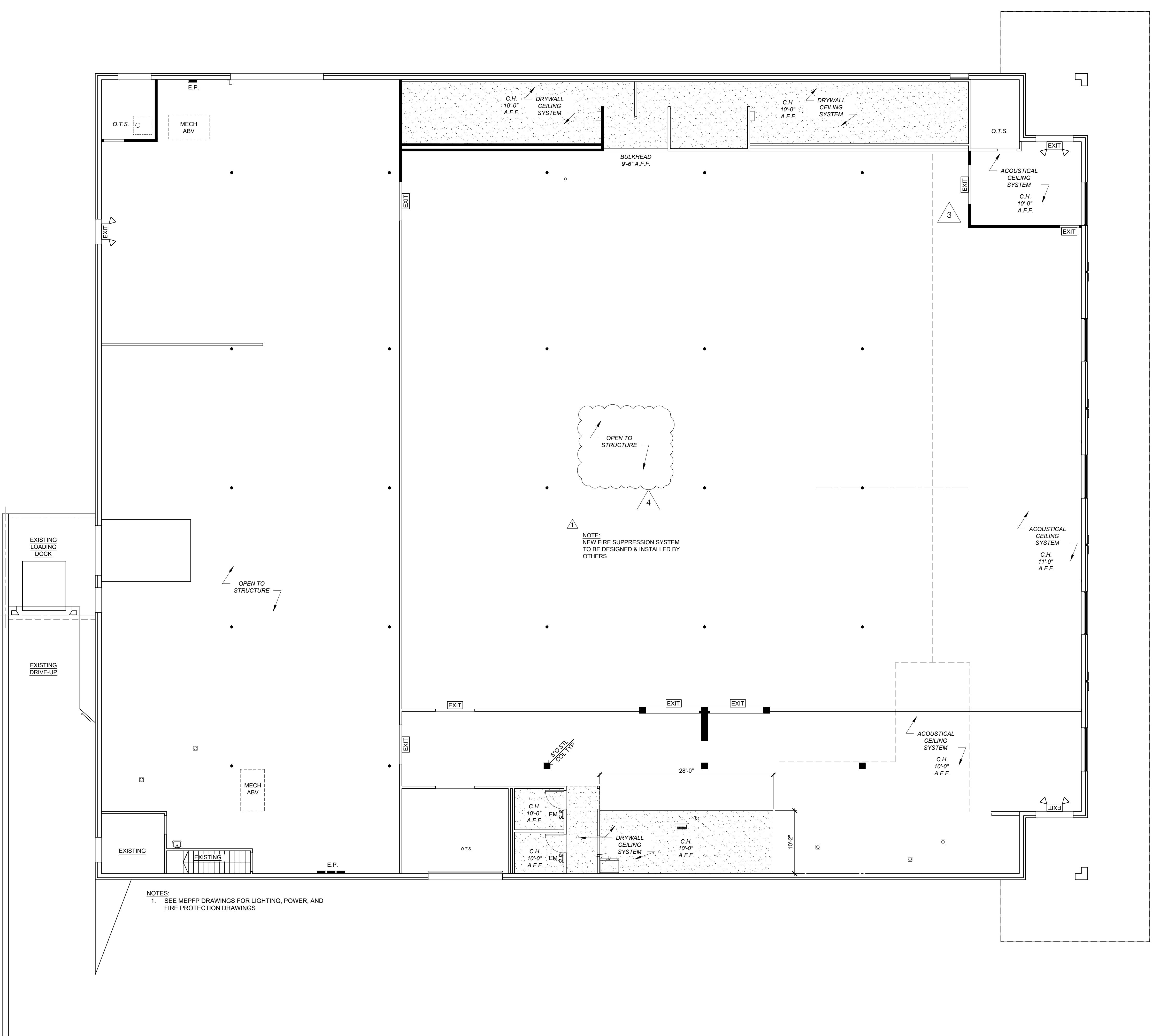


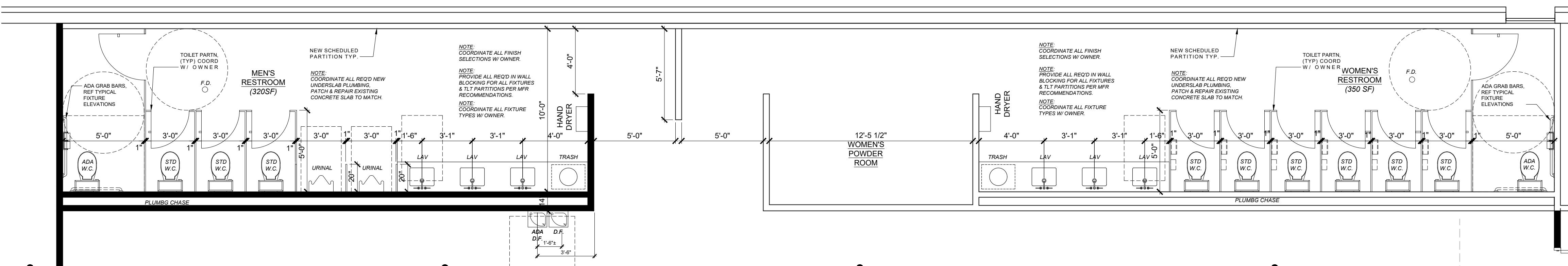
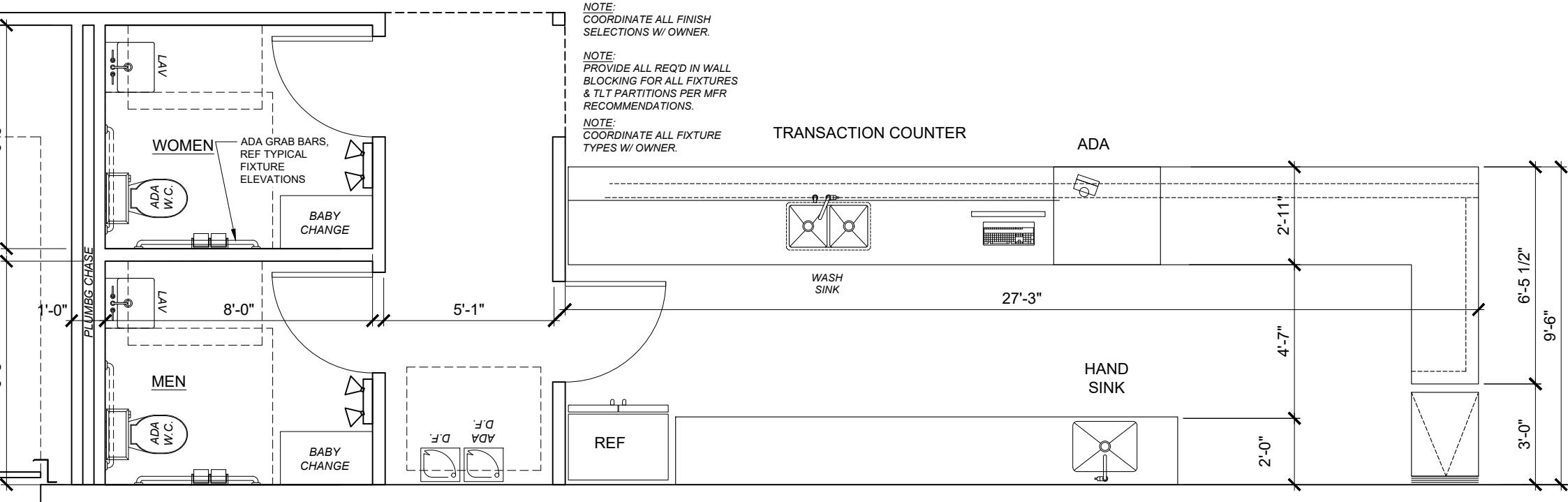
B SEISMIC BRACING DETAIL

SCALE: NONE

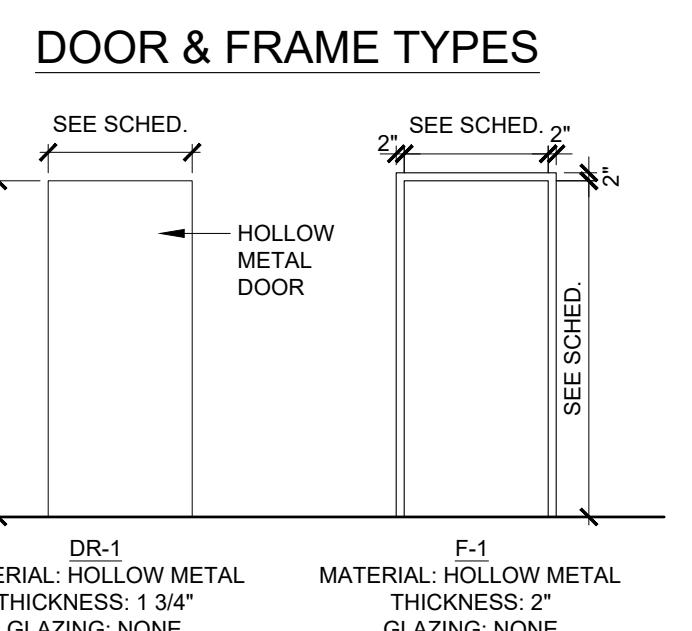
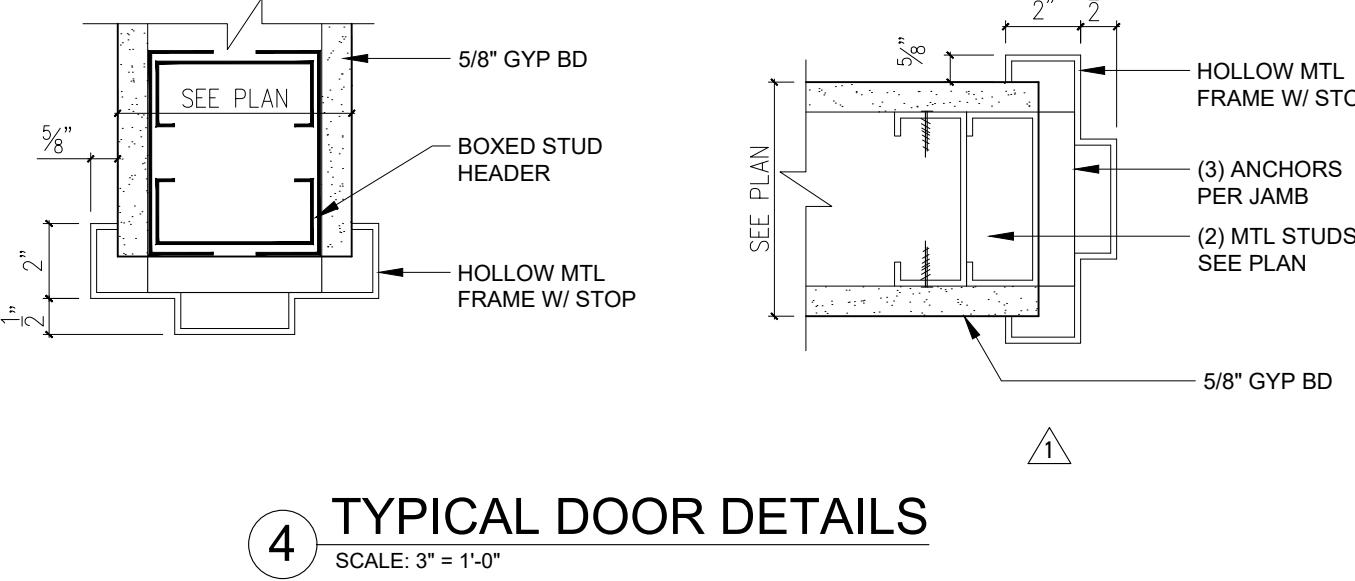
SEISMIC CEILING NOTES

- * A HEAVY DUTY T-BAR GRID SYSTEM SHALL BE USED.
- * PERIMETER SUPPORTING CLOSURE ANGLE SHALL NOT BE LESS THAN 2°. FOR EACH HORIZONTAL MEMBER OF THE GRID SYSTEM, ONE END SHALL BE ATTACHED TO CLOSURE ANGLE AND THE OTHER END SHALL BE INSTALLED WITH 3/4" CLEARANCE FROM THE WALL AND SHALL REST AND SLIDE FREELY ON THE CLOSURE ANGLE.
- * MAIN AND CROSS RUNNERS SHALL BE TIED TOGETHER TO PREVENT TWISTING.
- * INSTALL 12 GAUGE VERTICAL SUPPORT WIRES ON THE MAIN AND CROSS RUNNERS - MAXIMUM DISTANCE OF 8" FROM THE WALL. INSTALL ADDITIONAL VERTICAL SUPPORT WIRES IN THE FOLLOWING LOCATIONS:
 - 4'-0" O.C. ALONG THE MAIN RUNNER.
- * LIGHT FIXTURES MUST BE POSITIVELY ATTACHED TO THE CEILING GRID WITH AN ATTACHMENT CAPABLE OF CARRYING 100% OF THE WEIGHT OF THE LIGHT FIXTURE. LIGHT FIXTURES WEIGHING UP TO 56 POUNDS REQUIRE 2 VERTICAL SUPPORT WIRES. THESE WIRES MAY BE SLACK. LIGHT FIXTURES WEIGHING MORE THAN 56 POUNDS SHALL REQUIRE INDEPENDENT SUPPORT FROM THE SHELL BUILDING STRUCTURE ABOVE THE CEILING.
- * MECHANICAL AIR TERMINALS WEIGHING LESS THAN 20 POUNDS SHALL BE POSITIVELY ATTACHED TO THE CEILING GRID. AIR TERMINALS WEIGHING 20 POUNDS BUT NOT MORE THAN 56 POUNDS SHALL BE SECURED TO THE SHELL BUILDING STRUCTURE ABOVE THE CEILING IN ADDITION TO ATTACHING THE AIR TERMINAL TO THE CEILING GRID. THESE NO. 12 GAUGE WIRES MAY BE SLACK. AIR TERMINALS WEIGHING MORE THAN 56 POUNDS SHALL REQUIRE INDEPENDENT SUPPORT FROM THE SHELL BUILDING STRUCTURE ABOVE THE CEILING.
- * OTHER PENETRATIONS OF THE SUSPENDED CEILING SHALL HAVE A 2" OVERRSIZE RING, SLEEVE, OR ADAPTOR THROUGH THE CEILING TILE TO ALLOW FOR FREE MOVEMENT OF AT LEAST 1" IN ALL HORIZONTAL DIRECTIONS.
- * ALL WALL PARTITIONS GREATER THAN 6'-0" IN HEIGHT SHALL BE INDEPENDENTLY BRACED TO THE BUILDING SHELL STRUCTURE. WALL PARTITIONS MAY NOT BE SUPPORTED BY THE BRACED SUSPENDED CEILING ALONE.
- * SPRINKLER HEADS AND OTHER PENETRATIONS OF THE SUSPENDED CEILING SHALL HAVE A 2" OVERRSIZE RING, SLEEVE, OR ADAPTOR THROUGH THE CEILING TILE TO ALLOW FOR FREE MOVEMENT OF AT LEAST 1" IN ALL HORIZONTAL DIRECTIONS.



EVENT SPACE CONVERSION
TO EXISTING BUILDING9400 NATURAL BRIDGE RD
ST. LOUIS, MISSOURI 631341 ENLARGED RESTROOM PLAN
SCALE: 1/4" = 1'-0"2 ENLARGED RESTROOM & BAR PLAN
SCALE: 1/4" = 1'-0"

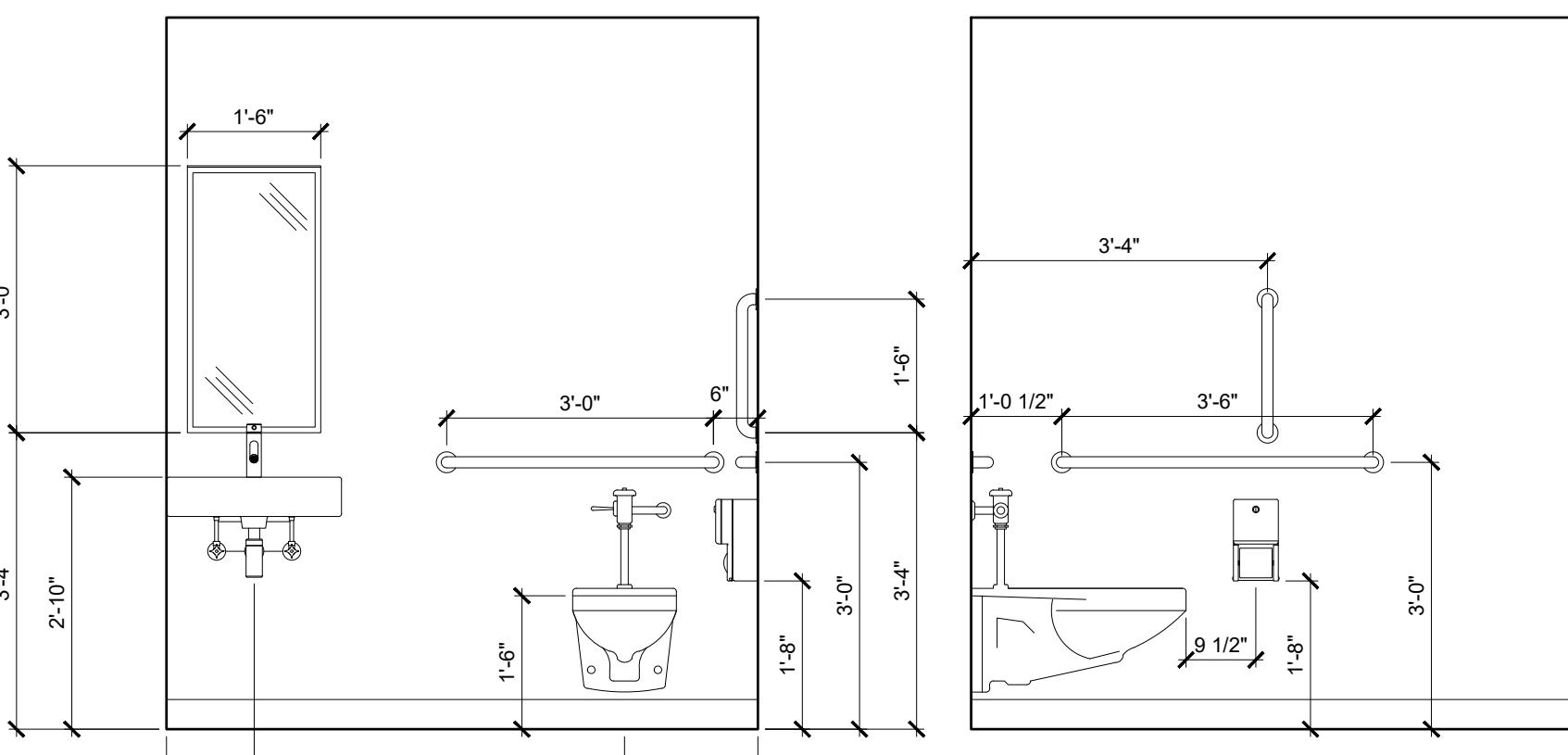
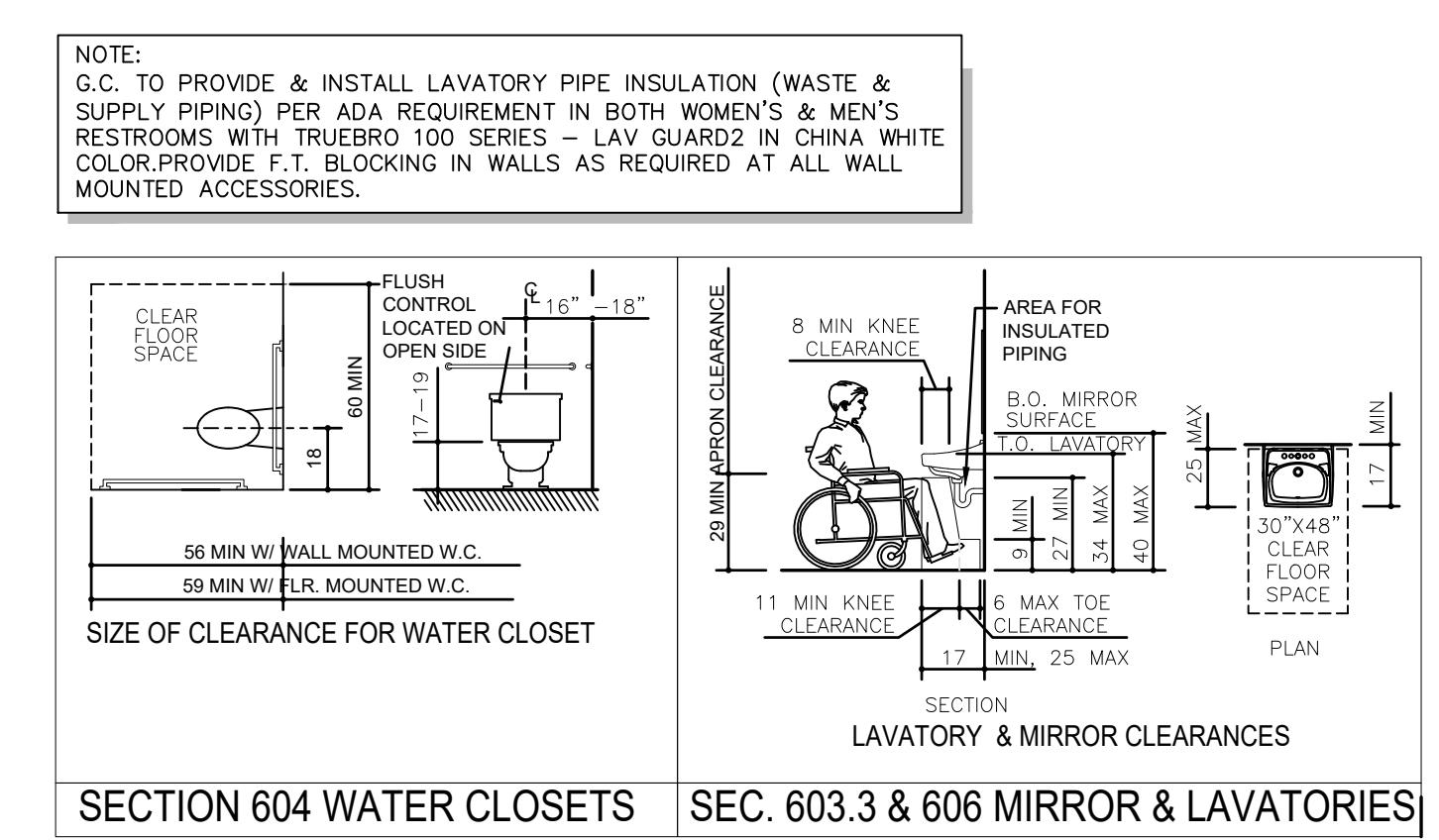
DOOR SCHEDULE								
NO.	DOOR	FRAME			DOOR			
		SIZE (W x H)	MATERIAL	TYPE	FINISH	MATERIAL	TYPE	DETAILS
100	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	2
101	3'-0" x 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3 SEE SCHED -
102	3'-0" x 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3 SEE SCHED -
103	3'-0" x 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3 SEE SCHED -
104	6'-0" x 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3 SEE SCHED 1
105	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	-
106	6'-0" x 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3 SEE SCHED 1, 2
107	6'-0" x 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3 SEE SCHED 1, 2
108	6'-0" x 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3 SEE SCHED 1, 2
109	6'-0" x 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3 SEE SCHED -
110	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	-
111	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	-
112	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	-
113	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	-
114	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	-
115	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	2
116	3'-0" x 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3 SEE SCHED -
117	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	-
118	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	-
119	6'-0" x 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3 SEE SCHED 1, 2
120	6'-0" x 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3 SEE SCHED 1, 2
121	3'-0" x 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3 SEE SCHED -
122	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	2
123	3'-0" x 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3 SEE SCHED 2
124	3'-0" x 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3 SEE SCHED -
125	3'-0" x 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3 SEE SCHED -
126	3'-0" x 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3 SEE SCHED -

DOOR SCHEDULE LEGEND:
HM HOLLOW METAL DOORS / FRAMES
P PAINT
WD WOODDOOR SCHEDULE NOTES:
1. ALL INTERIOR DOORS REQUIRE FLOOR MOUNTED DOOR STOPS.
2. HARDWARE BY G.C.
3. COORDINATE DOOR SELECTION, FINISH, AND HARDWARE W/ OWNERREMARKS:
1. PAIR OF DOORS
2. VERIFY OR PROVIDE PANIC HARDWARE5 DOOR FRAMES & TYPES
SCALE: 1/4" = 1'-0"4 TYPICAL DOOR DETAILS
SCALE: 3" = 1'-0"

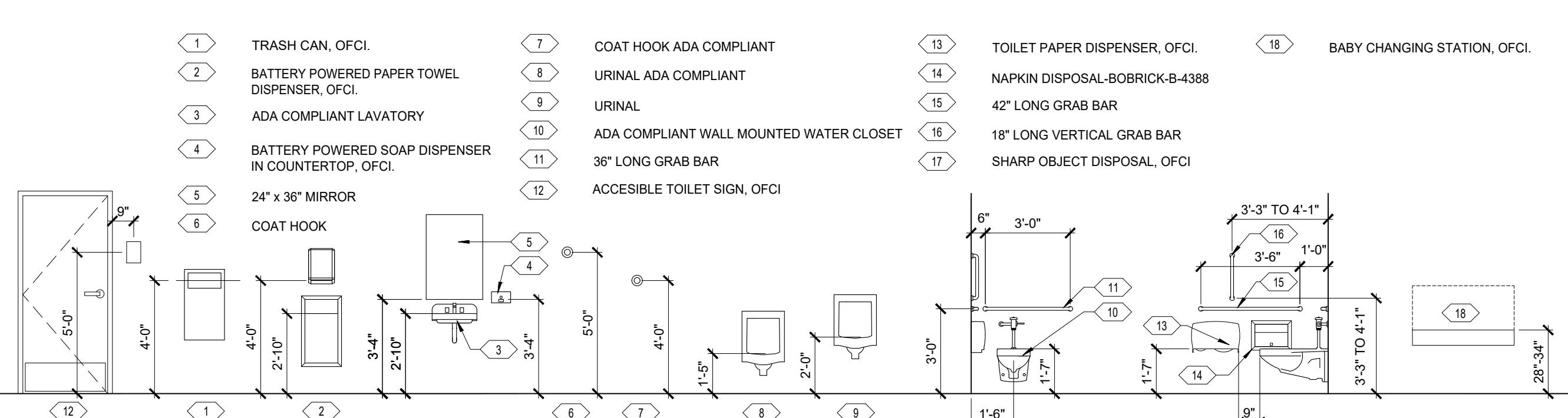
HARDWARE SCHEDULE								
GROUP 1 - (ENTRY W/ LOCK) (VERIFY OR PROVIDE)			GROUP 3 - RESTROOM (SINGLE USE) (VERIFY OR PROVIDE)			GROUP 4 - OFFICE / PRIVACY (MATCH EXISTING)		
QTY.	PROVIDE : PER DOOR	SUPPLIER	QTY.	PROVIDE : PER DOOR	SUPPLIER	QTY.	PROVIDE : PER DOOR	SUPPLIER
1 1/2 PAIR	HINGE BB1279 4 1/2" X 4 1/2"	HAGER						
1 EACH	CYLINDER B-SERIES, B30, "D" LEVER STYLE	FALCON						
1 EACH	UNLATCHING KNOB, STOP, PULL/PUSH BARS, WEATHERSTRIPPING, & THRESHOLD	SCHLAGE						
1 EACH	EXIT DEVICE 18-R (PANIC BAR)	MONARCH						
1 EACH	CYLINDER (VERIFY CAM. & FINISH MTL.)	FALCON						
1 EACH	CLOSER 404 (4040 SERIES)	LOX						
1 EACH	STOP - AS REQUIRED (WALL MOUNTED #407 1/2")	IVES						
3 EACH	FLOOR MOUNTED #436 OR #438 (FLOOR MOUNTED #436 OR #438)	GLYNN JOHNSON						
1 1/2 PAIR	HINGE BB1279 4 1/2" X 4 1/2"	HAGER						
1 EACH	CYLINDER B-SERIES, B30, "D" LEVER STYLE	FALCON						
1 EACH	UNLATCHING KNOB, STOP, PULL/PUSH BARS, WEATHERSTRIPPING, & THRESHOLD	SCHLAGE						
2 PAIR	HINGE BB1279 4 1/2" X 4 1/2" - NRP	HAGER						
1 EACH	EXIT DEVICE 19-R (PANIC BAR)	MONARCH						
1 EACH	CYLINDER W/ REMOVABLE CORE	FALCON						
1 EACH	CLOSER DST 8618	DORMA						
1 EACH	STOP - AS REQUIRED (WALL MOUNTED #407 1/2")	IVES						
1 EACH	DETAX ALARM EAS00 X MS204F	DETEX						
1 EACH	THRESHOLD #711A - SIZE AS REQUIRED	PENKO						
1 EACH	SWEEP #307AV - SIZE AS REQUIRED	PENKO						
1 EACH	WEATHERSTRIP 3034 - SIZE AS REQUIRED	PENKO						
1 EACH	KICK PLATE 24" X 40"	-						
1 1/2 PAIR	HINGE BB1279 4 1/2" X 4 1/2" US28	HAGER						
1 EACH	LEVER LOCK LOC 100 US28	FALCON						
1 EACH	STOP - AS REQUIRED	IVES						
3 EACH	STOREROOM FUNCTION (WALL MOUNTED #407 1/2" PA28 (US28))	IVES						
3 EACH	FLOOR MOUNTED #436 OR #438 PA28 (US28)	GLYNN JOHNSON						
1 1/2 PAIR	HINGE 1279 4 1/2" X 4 1/2" US28	HAGER						
1 EACH	LEVER LOC 100 US28	FALCON						
1 EACH	STOP - AS REQUIRED	IVES						
3 EACH	SILENCERS G-64 (FLOOR MOUNTED #407 1/2" PA28 (US28))	IVES						
3 EACH	SILENCERS G-64	GLYNN JOHNSON						
1 1/2 PAIR	HINGE 1279 4 1/2" X 4 1/2" US28	HAGER						
1 EACH	LEVER LOC 100 US28	FALCON						
1 EACH	STOP - AS REQUIRED	IVES						
3 EACH	SILENCERS G-64	GLYNN JOHNSON						

DOOR HARDWARE NOTES:

- ALL PERIMETER DOORS TO BE KEYED ALIKE. PROVIDE KEYWAY ON EXTERIOR FACE.
- ALL INTERIOR DOORS TO BE KEYED ALIKE. PROVIDE KEYWAY ON EXTERIOR FACE.
- DOORS TO BE KEYED ALIKE. PROVIDE KEYWAY ON EXTERIOR FACE.
- ALL HOLLOW METAL DOOR FRAMES ARE TO BE WELDED.
- G.C. TO FURNISH & INSTALL PANIC HARDWARE PER APPROPRIATE REGULATIONS & CODES HAVING JURISDICTION. MATCH EXISTING BUILDING HARDWARE - COORD W/ OWNER
- DOOR STOPS AND BUMPERS TO BE INSTALLED BEHIND ALL DOORS.
- ALL HARDWARE TO BE SATIN CHROME FINISH.

3 ADA BATHROOM ELEVATIONS
SCALE: 1/2" = 1'-0"

SECTION 604 WATER CLOSETS SEC. 603.3 & 606 MIRROR & LAVATORIES



TYPICAL FIXTURE ELEVATIONS:

REV	DATE	ISSUE
3/21/24		PERMIT
5/9/24		REVISIONS
6/18/24		OWNER REV
7/16/24		OWNER REV
8/30/24		OWNER REV

SHEET NAME: ENLARGED PLANS & DETAILS
SHEET NUMBER: A3