



# NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that a public hearing has been called and will be held for the City of Berkeley Missouri on Monday the **02<sup>nd</sup> day of February 2026** to begin at 7:00 P.M., in the City Hall City Council Chambers, 8425 Airport Road.

The purpose of this public hearing is to consider granting certain Special Use Permits.

1. **Case PC26-01:** Shall a request for a Special Use Permit be granted to Thoa Thai to operate an event venue located at 9400 Natural Bridge Road?

**BY ORDER OF THE PLANNING COMMISSION**

Posted: January 20, 2026

Time: 5:00pm



## **STAFF REPORT**

**CASE NUMBER:** **PC26-01**

**DATE:** January 14, 2026

**PETITIONER:** Thoa Thai (Jenny Thai)

**PROPERTY OWNERS:** 9400 LLC  
6853 Olive Blvd  
St. Louis, MO 63130

**REQUEST:** Special Use Permit including the sale  
and consumption of Liquor

**PROPERTY ADDRESS:** 9400 Natural Bridge Road  
St. Louis, MO 63134

**CURRENT ZONING:** “C-2” Local Commercial District

**PROPOSED ZONING:** Zoning to remain the same

**EXISTING USE:** Warehouse

**PROPOSED USE:** Event Venue

**RECOMMENDATIONS:** Plan Commission Recommends  
Approval with Conditions



# REPORT TO CITY COUNCIL

***NO TAXES DUE***

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**TO:** Mayor and Councilmembers

**FROM:** Joanna Campbell, Public Works Secretary

**DATE:** January 14, 2026

**SUBJECT:** **PC26-01** – A request for a Special Use Permit for Thoa Thai to operate *Crystal Venue*, an event venue located at 69400 Natural Bridge Road, Berkeley, MO 63134.

We have investigated the Subject item, above, and present the following as our findings:

## **BACKGROUND INFORMATION**

The applicant has been renovating the building at 9400 Natural Bridge Road. Their first permit was obtained on 09/05/2024. Applicant has acquired multiple permits for the renovations. When they started renovating the property, an event center was considered a permitted use under Ordinance 4818 which was approved on 10/16/2023. Ordinance 4818 was repealed by Ordinance 4897 on 02/03/2025. The applicant is still working on renovations. Staff realized that now they are a special use due to the repealed Ordinance. Applicant is also seeking to obtain a liquor license for the sale and consumption of alcohol on the premises.

## **PROPERTY LOCATION**

9400 Natural Bridge Road, Berkeley, Missouri 63134  
St. Louis County locator #13K610214  
Area Under Roof: 19,636 ft<sup>2</sup>  
Zoning: "C-2" General Commercial District

## **PROJECT DESCRIPTION**

Applicant is needing a Special Use Permit to operate an event venue.

## **SECTION 400.370 ARCHITECTURAL AESTHETICS.**

No building shall be greatly dissimilar in architectural style, size, mass or color so as to appear grossly unattractive, and to have a negative impact on adjacent properties and the surrounding neighborhood.

## **RECOMMENDATION**

Plan Commission recommends approval with conditions.

## **SUPPORTING DOCUMENTS**

Staff Report, Application, Plans, Construction Permits, Photos

## **SPECIAL USE PERMIT CONDITIONS:**

1. Business Name: *Crystal Venue*
2. Hours of operation: *Daily from 9:00 AM – 11:00 PM*
3. Liquor sales and consumption allowed only during event rentals and in compliance with all rules and regulations by local, state, and federal laws.
4. Outdoor Special Events shall be approved by the City Council.
5. Unless noted as a non-conforming condition or noted herein, building and site shall comply with all applicable health, safety, building and sign code standards as required by the City of Berkeley.
6. The building, lot, landscaping and yard areas shall be maintained and kept free and clear of any debris or trash or weeds including maintenance of all landscaped areas.
7. All parking areas must be a paved surface, the parking lot should be cleaned of all the debris, weeds and trash, etc.
8. Use of snipe or directional signs to the property are prohibited
9. A sign permit is required. Banners, pennants, festoons, human sign, searchlights are *prohibited*. Business signage shall be limited to no more than 10% of window space. The petitioner will be permitted one exterior wall mounted sign at the front wall of the business.
10. No metal bars, mesh, or other durable material shall be installed over any portion of the frontage window or frontage opening in commercial buildings.
11. The premise shall be subject to adherence to City of Berkeley annual fire inspections and life safety plans.
12. All required inspections by the city are required before issuance of occupancy permit and business license.
13. The interior will be thoroughly inspected by City's Building Commissioner and Fire Department, and any and all other jurisdictions, if applicable. All permits that are required by any of said mention must be received. Once, all required inspections are completed; apply for all necessary building/occupancy & fire safety permits from the City of Berkeley, and other jurisdictions, after obtaining City Council's approval on this Special Use Permit. Commercial Occupancy permit and Business License is required and shall be posted at all times.
14. This Special Use Permit will be revoked if for any reason the applicant ceases operation and closes its doors to the public for a period of six (6) months or more and not complying with the City's Special Use Permit.
15. The Special Use Permit shall not be assigned, or sold, or conveyed, or operated by another without prior approval by the City Council and occupancy permit, building permit or business license shall be issued to such assignee until such approves is secured.
16. Any violations can be a reason for the City to revoke this permit, according to the City's current regulations. The applicant will comply with all the City's rules and regulations.
17. Prior to issuance of any Occupancy Permit, the above noted conditions, the conditions as described in the attached Report, the inspections as part of the normal occupancy permit process shall be met, and as approved by the City Council.
18. If the City Council determines that the public health, welfare and safety are adequately protected in view of the foregoing criteria, then the special use permit shall be granted; but if it is negative as to any of such paragraphs, then the special use permit shall be denied.
- 19. In granting such special use permits, the City Council may provide that the permit be valid for a limited period of time not to exceed ten (10) years. Upon expiration of the time limit specified in the permit, the holder of the permit may request the permit be reviewed by the City Council, and the City Council may extend it for another limited period of time not to exceed ten (10) years. The City Council shall provide that the permit be exclusive only for the holder and non-transferable.**
20. The City Council may, in accordance with Section 400.580, institute a rezoning. The City Council, after a public hearing, may revoke a special use permit for failure of compliance with the regulations and restrictions of this Chapter or the requirements of the special use permit.







## PLANNING & DEVELOPMENT APPLICATION

(Please check all that apply)

INITIAL FEE: \$350 (non-refundable)

<input type="checkbox"/> Preliminary (Plats)	<input checked="" type="checkbox"/> Special Use Permit
<input type="checkbox"/> Re-Approval (Plats)	<input type="checkbox"/> Zoning Change
<input type="checkbox"/> Amending (Plats)	<input type="checkbox"/> Resubdivision/Reconsolidation
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Business Name/Ownership Change
<input type="checkbox"/> Lot Consolidation	<input type="checkbox"/> Variance (Land Use)
<input type="checkbox"/> Street Name (New, Change)	<input type="checkbox"/> Variance (Building Code)
<input type="checkbox"/> Street Vacation	<input type="checkbox"/> Liquor/Lottery/Financials (Money Grams/Order)
<input type="checkbox"/> Medical Marijuana (Dispensary)	<input type="checkbox"/> Medical Marijuana (Grow Facility)
<input type="checkbox"/> Medical Marijuana (Researching/Testing)	<input type="checkbox"/> Building Code Appeal
<input type="checkbox"/> Food Truck - SUP \$100.00 (City Events Only)	<input type="checkbox"/> Food Truck - Fire Inspection \$75.00
<input type="checkbox"/> Food Truck Business License \$75.00	<input type="checkbox"/> Other

### REQUIREMENTS:

1. Prepare one (1) legible set of drawings and one (1) PDF High Resolution copy on a USB drive detailing interior & exterior of property.
2. Submit a completed application three (3) weeks prior to Plan Commission Meeting.
3. **DO NOT** destroy, tear down or remodel proposed business structure until 'FINAL' approval by City Council.
4. If you do not submit your application in a timely manner your request will be considered on the next meeting date.

APPLICANT(S) LEGAL NAME(S):

THOA THAI

APPLICANT IS (check one):

☒ PROPERTY OWNER ☐ AGENT ☐ PURCHASER OF CONTRACT ☐ TENANT

APPLICANT(S) ADDRESS:

Street

City

State

Zip

PHONE: ( ) - -

EMAIL: - - -

### LOCATION OF PROPOSED USE

STREET ADDRESS:

9400 NATURAL BRIDGE RD SILLARS LAUD 65134

LEGAL DESCRIPTION:

EVENT VENUE

PRESENT ZONING DISTRICT:

RETAIL

PROPOSED ZONING DISTRICT (IF APPLICABLE):

PROPERTY IS PRESENTLY BEING USED AS FOLLOWS: WAREHOUSE

PROPERTY TO BE USED FOR (TYPE OF BUSINESS): EVENT VENUE

DAYS &amp; HOURS OF OPERATION ETC:

DAILY 9 AM → 11 PM

PROPOSED NAME OF BUSINESS:

CRYSTAL VENUE

APPROXIMATE SIZE OF TRACT:

ACRES

SQ. FT. OF SPACE (UNDER ROOF)

20,000 sq ft



**IF APPLICANT IS NOT THE PROPERTY OWNER:**

PROPERTY OWNER(S) NAME: N/A

PROPERTY OWNER(S) ADDRESS: \_\_\_\_\_

STREET

CITY

STATE

ZIP

PHONE: (\_\_\_\_) \_\_\_\_ - \_\_\_\_ EMAIL: \_\_\_\_\_

I HAVE AUTHORITY TO ACT ON BEHALF OF THE PROPERTY OWNER: \_\_\_\_\_

*Applicant(s) Signature*

By signing this application, the owner(s) and applicant(s) attest that all information and facts provided on this form and attachments are complete and accurate and that any omission or incorrect fact or information may invalidate any notice or subsequent action taken by the City of Berkeley Board of Adjustments, City of Berkeley Planning & Zoning Commission. (All applicants and owners shall sign the application. Attach additional name/address/signature/date pages as needed.)

[Signature]  
Applicant(s) Signature

Date: 12/23/23 / 23 / 2025

[Signature]  
Property Owner(s) Signature:

Date: 12 / 23 / 2025

**OFFICE USE ONLY**

All items necessary for a technical review of the proposed special use permit plan have been submitted and constitute a COMPLETE APPLICATION.

Staff Signature: [Signature]

Date: 12 / 23 / 2025

Date Paid: 12 / 26 / 2025

☐ Cash

☐ Check

☐ Money Order

☒ online Debit/Credit

Receipt No: 77402

Case No: PC26-01



**DESCRIPTION AND EXPLANATION OF PROPOSED PROJECT:**

EVENT SPACE - CORPORATE EVENTS, PARTIES,  
BIRTHDAY CELEBRATIONS, WEDDINGS...

WE WILL APPLY A LIQUOR LICENSE TO PERMIT  
THE SALE AND CONSUMPTION OF ALCOHOL ON THE  
PREMISES.









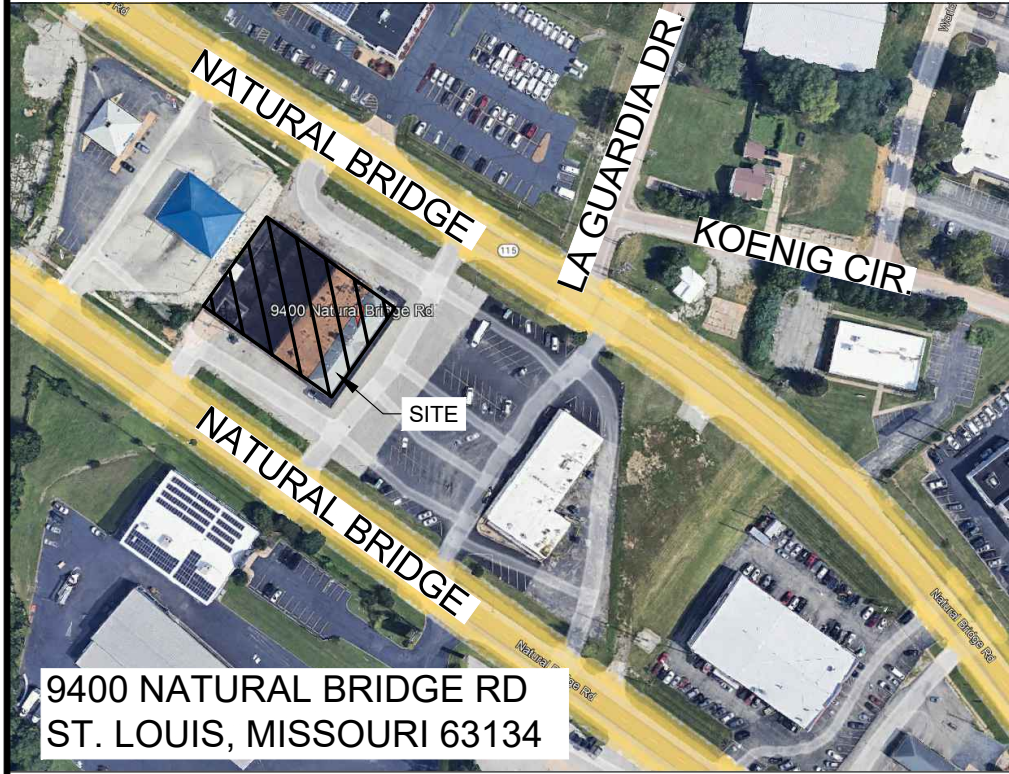


PROJECT INFO:

OWNER: 9400 LLC  
CLIENT: WAYNE HO  
P. (314) 584-9004  
ARCHITECT: AD-ARCH  
ANTHONY DUNCAN ARCHITECT  
4527 VIRGINIA AVE,  
ST. LOUIS, MO 63111  
T. (314) 832-3350  
F. (314) 832-3340

BUILDING DATA:

MUNICIPALITY: BERKELEY, MISSOURI  
BUILDING CODES: 2015 INT'L RESIDENTIAL CODE (IRC)  
2015 INT'L ENERGY CONSERVATION CODE (IECC)  
2015 INT'L PROPERTY MAINTENANCE CODE (IPMC)  
2015 INT'L PLUMBING CODE (IPC)  
2015 INT'L MECHANICAL CODE (IMC)  
2015 INT'L FUEL GAS CODE (IFGC)  
2014 NATIONAL ELECTRIC CODE (NEC)  
2015 INT'L BUILDING CODE (IBC)  
2015 INT'L EXISTING BUILDING CODE (IEBC)  
2015 INT'L FIRE COE (IFC)  
USE GROUP CLASSIFICATION: (A2) - ASSEMBLY  
CONSTRUCTION CLASSIFICATION: 2B, UNPROTECTED NON-COMBUSTIBLE  
(SPRINKLERED)



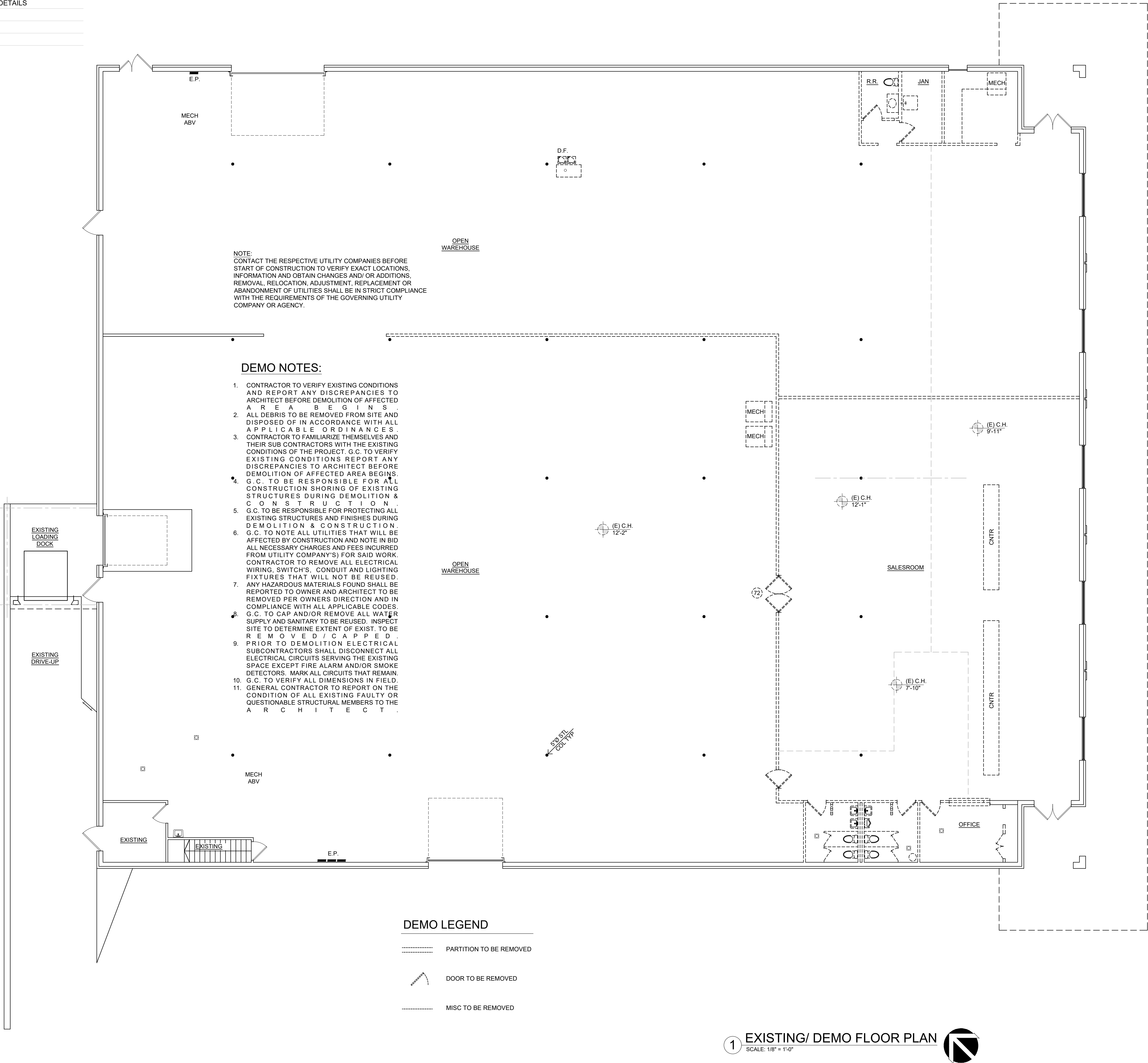
LOCATION MAP  
NOT TO SCALE

GENERAL CONDITIONS:

- ALL CONTRACTORS SHALL OBSERVE ALL REGULATIONS IMPOSED BY THE APPROPRIATE GOVERNING BODIES, AND ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODES, ACCIDENT AND FIRE PREVENTION REGULATIONS. ALL MATERIALS, EQUIPMENT, WORKMANSHIP, WORKING CONDITIONS, AND CONSTRUCTION METHODS SHALL COMPLY WITH THE LATEST APPLICABLE SECTIONS OF LOCAL, MUNICIPAL, CITY, STATE, & FEDERAL CODES, ORDINANCES, & STANDARDS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO STARTING ANY CONSTRUCTION AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES AT THE BUILDING SITE.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS & CONSTRUCT ALL NEW WORK IN A NEAT & APPROVED MANNER.
- THE CONTRACTOR SHALL ESTABLISH AND VERIFY ALL OPENINGS & INSERTS FOR MECHANICAL AND ELECTRICAL WORK AS REQUIRED FOR THEIR INSTALLATION AND PER DRAWINGS (IF APPLICABLE).
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AND SECURITY IN & AROUND THE JOB SITE DURING CONSTRUCTION.
- THE A.I.A. GENERAL CONDITIONS (FORM A-201 LATEST ISSUE) SHALL GOVERN AND BE PART OF THIS PROJECT.
- THE CONTRACTOR SHALL SUBMIT / FILE FOR, PAY & SECURE ALL APPROVALS, BUILDING PERMITS, FIRE PERMITS, TEST, AND CERTIFICATES OF COMPLIANCE & OCCUPANCY.
- THE DIMENSIONS ON THESE DRAWINGS IN ALL CASES SUPERSEDE SCALE. CONTRACTOR IS NOT TO SCALE DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RUBBISH SWEEP UP & REMOVED. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL LEAVE WORK IN A FINISHED CONDITION.
- IT WILL BE THE DUTY OF THE CONTRACTORS TO COMMUNICATE IMMEDIATELY WITH EACH OTHER IN ORDER TO SCHEDULE WORK, STORAGE AREAS, ETC. IN AN APPROVED MANNER AND WITHIN THE TIME SPECIFIED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO OWNER'S OR OTHER'S PROPERTY DONE BY HIM/HER OR INDIVIDUALS IN THE CONTRACTOR'S EMPLOY, OR THROUGH NEGLIGENCE.
- THE CONTRACTOR SHALL LOCATE THE BUILDING SITE, ESTABLISH BUILDING LINES, BENCH MARKS, FINISH FLOOR ELEVATIONS, LAYOUT FOR PARTITIONS & OPENINGS.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES BEFORE CONSTRUCTION BEGINS.
- ALL ARCHITECTURAL DRAWINGS ARE IN CONFIDENCE AND DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHTS AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED.
- IF THE CONTRACTOR DOES NOT CLEARLY UNDERSTAND THE PLANS, HE/SHE SHOULD OBTAIN THE ARCHITECT'S WRITTEN EXPLANATION PRIOR TO BIDDING. THE CONTRACTOR WILL BE HELD RIGIDLY TO INTERPRETATIONS OF THE ARCHITECT.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT TYPICAL FOR STANDARD CONSTRUCTION OF ANY OF THE WORK, SHALL BE INCLUDED IN THIS CONTRACT DOCUMENT SET AS THOUGH IT WERE SHOWN IN THE DOCUMENTS.
- THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED IN THE CONTRACT DOCUMENTS, AS WELL AS ANY OTHER WORK REQUIRED TO COMPLETE THE WORK AS DESIGNED.
- ALL MECHANICAL & PLUMBING WORK IS TO BE ON A DESIGN/BUILD BASIS BY THE GENERAL CONTRACTOR. G.C. IS TO CONFER WITH OWNER ON DESIGN OF ALL OF THESE SYSTEMS BEFORE PRESENTING CONSTRUCTION BID TO OWNER.
- ALL FINISH INFORMATION SHALL BE PROVIDED BY OWNER.
- ALL HARDWARE SELECTIONS SHALL BE APPROVED BY OWNER.
- ALL PRODUCTS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, RECOMMENDATIONS, & LOAD CRITERIA.

DRAWING INDEX:

A0	COVER SHEET & DEMO PLAN
A1	FLOOR PLAN
A2	REFLECTED CEILING PLAN
A3	ENLARGED PLANS & DETAILS



DEMO NOTES:

- CONTRACTOR TO VERIFY EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT BEFORE DEMOLITION OF AFFECTED AREA BEGINS.
- ALL DEBRIS TO BE REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE ORDINANCES.
- CONTRACTOR TO FAMILIARIZE THEMSELVES AND THEIR SUB CONTRACTORS WITH THE EXISTING CONDITIONS OF THE PROJECT. G.C. TO VERIFY EXISTING CONDITIONS REPORT ANY DISCREPANCIES TO ARCHITECT BEFORE DEMOLITION OF AFFECTED AREA BEGINS.
- G.C. TO BE RESPONSIBLE FOR ALL CONSTRUCTION SHORING OF EXISTING STRUCTURES DURING DEMOLITION & CONSTRUCTION.
- G.C. TO BE RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURES AND FINISHES DURING DEMOLITION & CONSTRUCTION.
- G.C. TO NOTE ALL UTILITIES THAT WILL BE AFFECTED BY CONSTRUCTION AND NOTE IN BID ALL NECESSARY CHARGES AND FEES INCURRED FROM UTILITY COMPANY(S) FOR SAID WORK. CONTRACTOR TO REMOVE ALL ELECTRICAL WIRING, SWITCHES, CONDUIT AND LIGHTING FIXTURES THAT WILL NOT BE REUSED.
- ANY HAZARDOUS MATERIALS FOUND SHALL BE REPORTED TO OWNER AND ARCHITECT TO BE REMOVED PER OWNERS DIRECTION AND IN COMPLIANCE WITH ALL APPLICABLE CODES. G.C. TO CAP AND/OR REMOVE ALL WATER SUPPLY AND SANITARY TO BE REUSED. INSPECT SITE TO DETERMINE EXTENT OF EXIST. TO BE REMOVED / CAPPED.
- PRIOR TO DEMOLITION ELECTRICAL SUBCONTRACTORS SHALL DISCONNECT ALL ELECTRICAL CIRCUITS SERVING THE EXISTING SPACE EXCEPT FIRE ALARM AND/OR SMOKE DETECTORS. MARK ALL CIRCUITS THAT REMAIN.
- G.C. TO VERIFY ALL DIMENSIONS IN FIELD.
- GENERAL CONTRACTOR TO REPORT ON THE CONDITION OF ALL EXISTING FAULTY OR QUESTIONABLE STRUCTURAL MEMBERS TO THE ARCHITECT.

DEMO LEGEND

- PARTITION TO BE REMOVED
- DOOR TO BE REMOVED
- MISC TO BE REMOVED

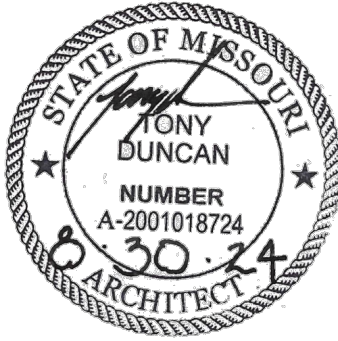
1 EXISTING/ DEMO FLOOR PLAN  
SCALE: 1/8" = 1'-0"

AD:ARCH

Anthony  
Duncan  
Architect

4527 Virginia Avenue  
St. Louis, MO 63111  
Phone: (314) 832-3350  
Fax: (314) 832-3340

SEAL



EVENT SPACE CONVERSION  
TO EXISTING BUILDING

9400 NATURAL BRIDGE RD  
ST. LOUIS, MISSOURI 63134

REV	DATE	ISSUE
	3/21/24	PERMIT
Δ	5/9/24	REVISIONS
Δ	6/18/24	OWNER REV
Δ	7/16/24	OWNER REV
Δ	8/30/24	OWNER REV

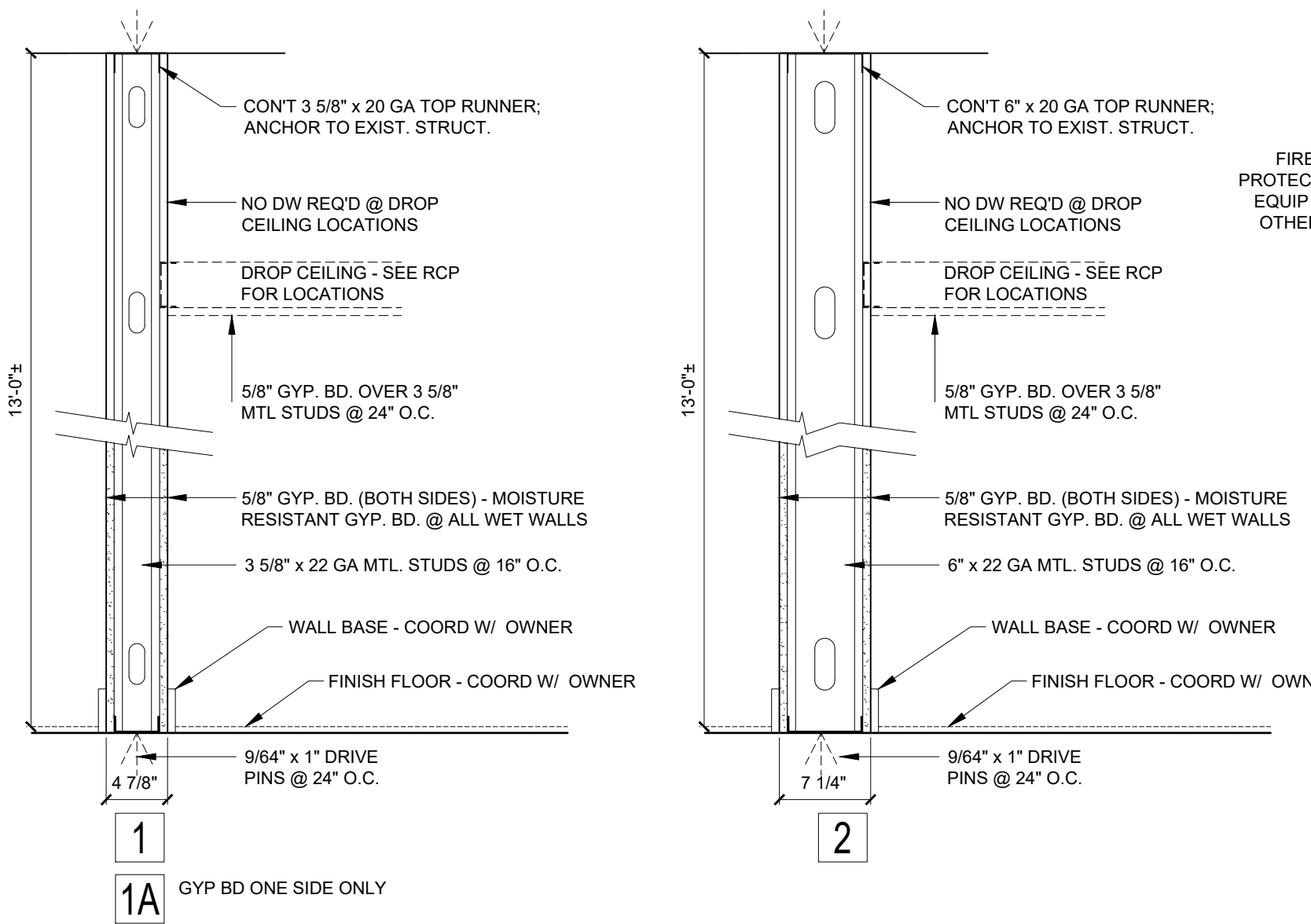
SHEET NAME:  
COVER SHEET & DEMO  
PLAN

SHEET NUMBER:

A0



PARTITION TYPES:



BUILDING OCCUPANCY (A2 BANQUET HALL):		
EVENT ENTRY 100: 233 SF = 0 OCCUPANTS Hallway, Non-Occupiable Space	0 OCC	
LOUNGE 101: 647 SF / 15 = 44 OCCUPANTS Assembly (unconcentrated tables & chairs) = 15 net	44 OCC	
LOUNGE HALLWAY 102: 1,233 SF = 0 OCCUPANTS Hallway, Non-Occupiable Space	0 OCC	
BAR 103: 135 SF / 200 = 1 OCCUPANT Commercial Kitchen Areas = 200 gross	1 OCC	
WOMEN'S RESTROOM 104: 53 SF = 0 OCCUPANTS Non-Occupiable Space	0 OCC	
MEN'S RESTROOM 105: 53 SF = 0 OCCUPANTS Non-Occupiable Space	0 OCC	
LOADING 106: 235 SF / 300 = 1 OCCUPANTS Shipping Areas = 300 gross	1 OCC	
WAREHOUSE 107: 5,888 SF / 500 = 12 OCCUPANTS Warehouses = 500 gross	12 OCC	
STAIR 108: 50 SF = 0 OCCUPANTS Non-Occupiable Space	0 OCC	
UTILITY 109: 98 SF / 300 = 1 OCCUPANT Mechanical Equipment Room = 300 gross	1 OCC	
SPRINKLER ROOM 110: 83 SF / 300 = 1 OCCUPANT Mechanical Equipment Room = 300 gross	1 OCC	
RESTROOMS 111: 927 SF = 0 OCCUPANTS Non-Occupiable Space	0 OCC	
DINING 112: 7,954 SF / 15 = 531 OCCUPANTS Assembly (unconcentrated tables & chairs) = 15 net	531 OCC	
JANITOR 113: 87 SF / 300 = 1 OCCUPANT Mechanical Equipment Room = 300 gross	1 OCC	
SERVICE ENTRY 114: 228 SF = 0 OCCUPANTS Hallway, Non-Occupiable Space	0 OCC	
GROOM 115: 131 SF / 50 = 3 OCCUPANTS Locker Rooms = 50 gross	3 OCC	
BRIDE 116: 197 SF / 50 = 4 OCCUPANTS Locker Rooms = 50 gross	4 OCC	
BACK OF HOUSE 117: 744 SF / 300 = 3 OCCUPANTS Storage Areas = 300 gross	3 OCC	
PLATFORM STAGE 118: 480 SF / 15 = 32 OCCUPANTS Stages and Platforms = 15 gross	32 OCC	
OFFICE 119: 75 SF / 100 = 1 OCCUPANTS Business Areas = 100 gross	1 OCC	
TOTAL	635 OCCUPANTS (318 MEN & 318 WOMEN)	

Section 1005 Means of Egress

635 OCC X 0.2 = 127" REQ'D (MIN 32" PER 1010.1.1)

Size of Doors:  
The required capacity of each door opening shall be sufficient for the occupant load thereof and shall provide a minimum clear width of 32 inches (813 mm). Clear

EGRESS DOOR WIDTH PROVIDED: 252" (SEVEN 36" DOORS)

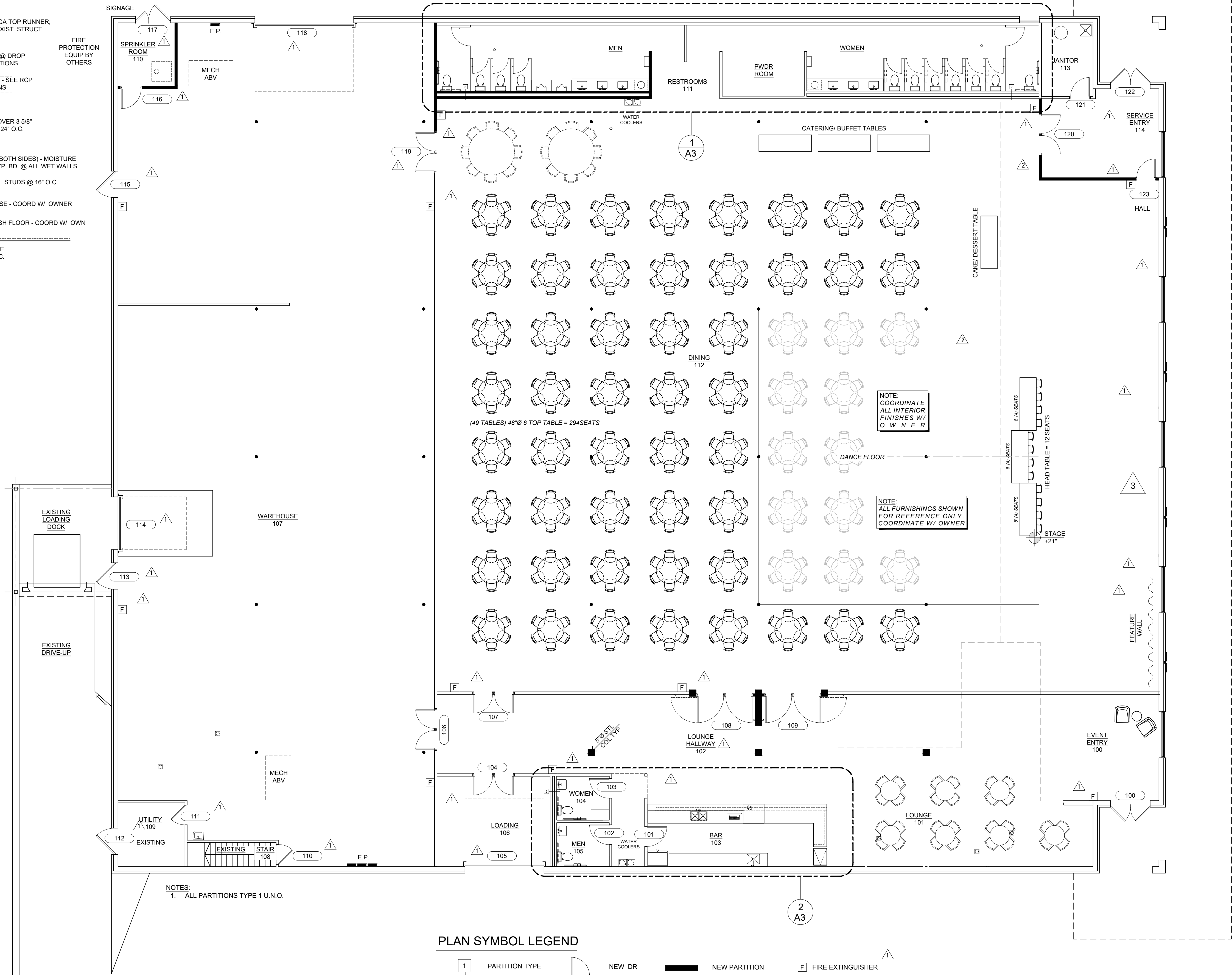
PLUMBING FIXTURE COUNTS:

(PER TABLE 403.1.2015 IPC)

635 TOTAL OCCUPANTS

(318 MEN & 318 WOMEN)

	A-2 OCCUPANCY:	REQ'D	PROV'D	
318 MEN	WATER CLOSETS	1 PER 75	5	5
	URINALS	< 50% OF WC (419.2)	0	2
	LAVATORIES	1 PER 200	2	4
318 WOMEN	WATER CLOSETS	1 PER 75	5	8
	LAVATORIES	1 PER 200	2	4
	SERVICE SINK	1	1	1
	DRINKING FOUNTAINS	1 PER 500	2	4



PLAN SYMBOL LEGEND

1	PARTITION TYPE	NEW DR	NEW PARTITION	F	FIRE EXTINGUISHER
1	KEYED NOTE MARKER	EXISTING DR	EXISTING PARTITION		

1 FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

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REV	DATE	ISSUE
	3/21/24	PERMIT
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Δ	6/18/24	OWNER REV
Δ	7/16/24	OWNER REV
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SHEET NAME:  
FLOOR PLAN

SHEET NUMBER:

A1



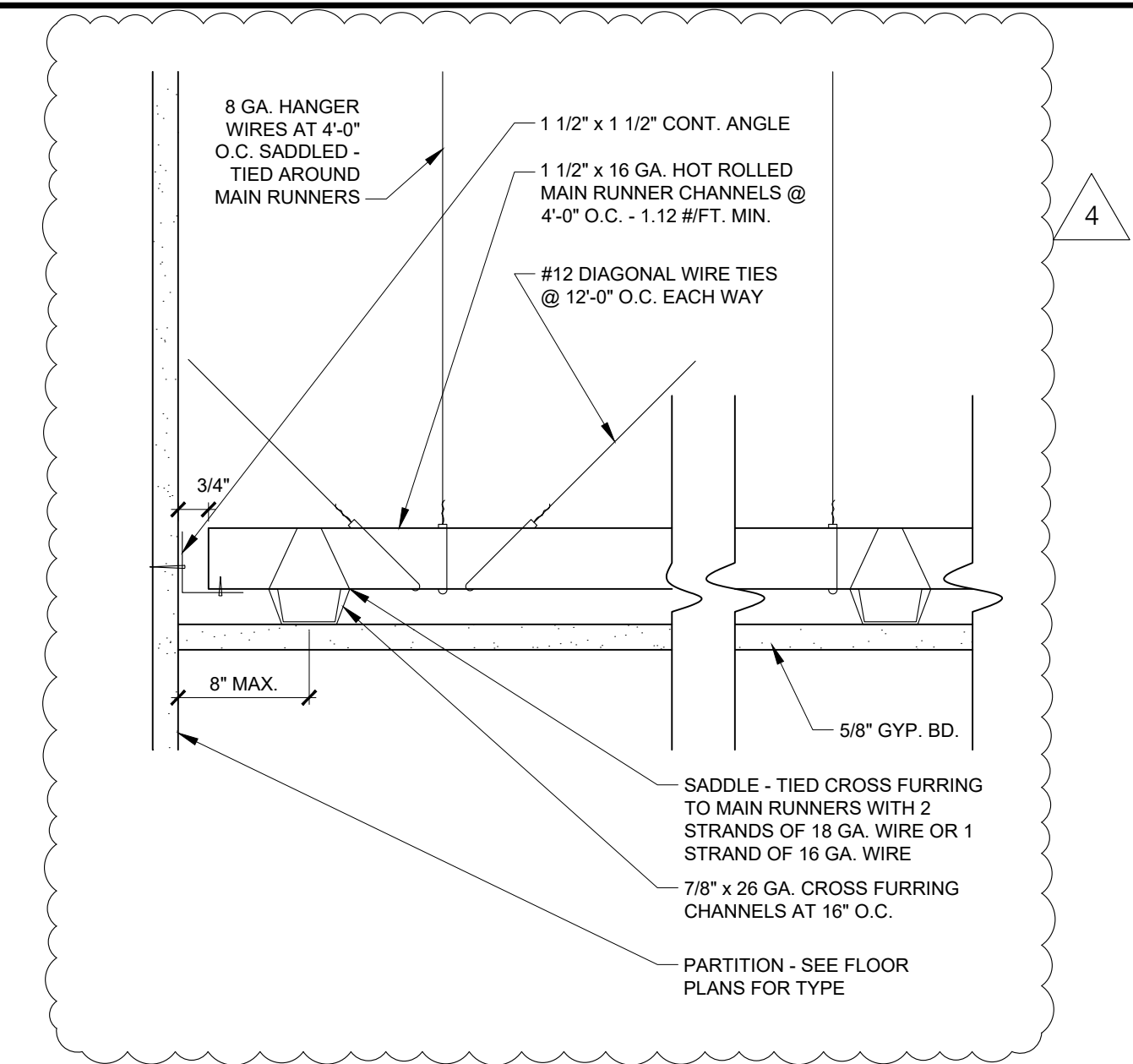


REV	DATE	ISSUE
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Δ	8/30/24	OWNER REV

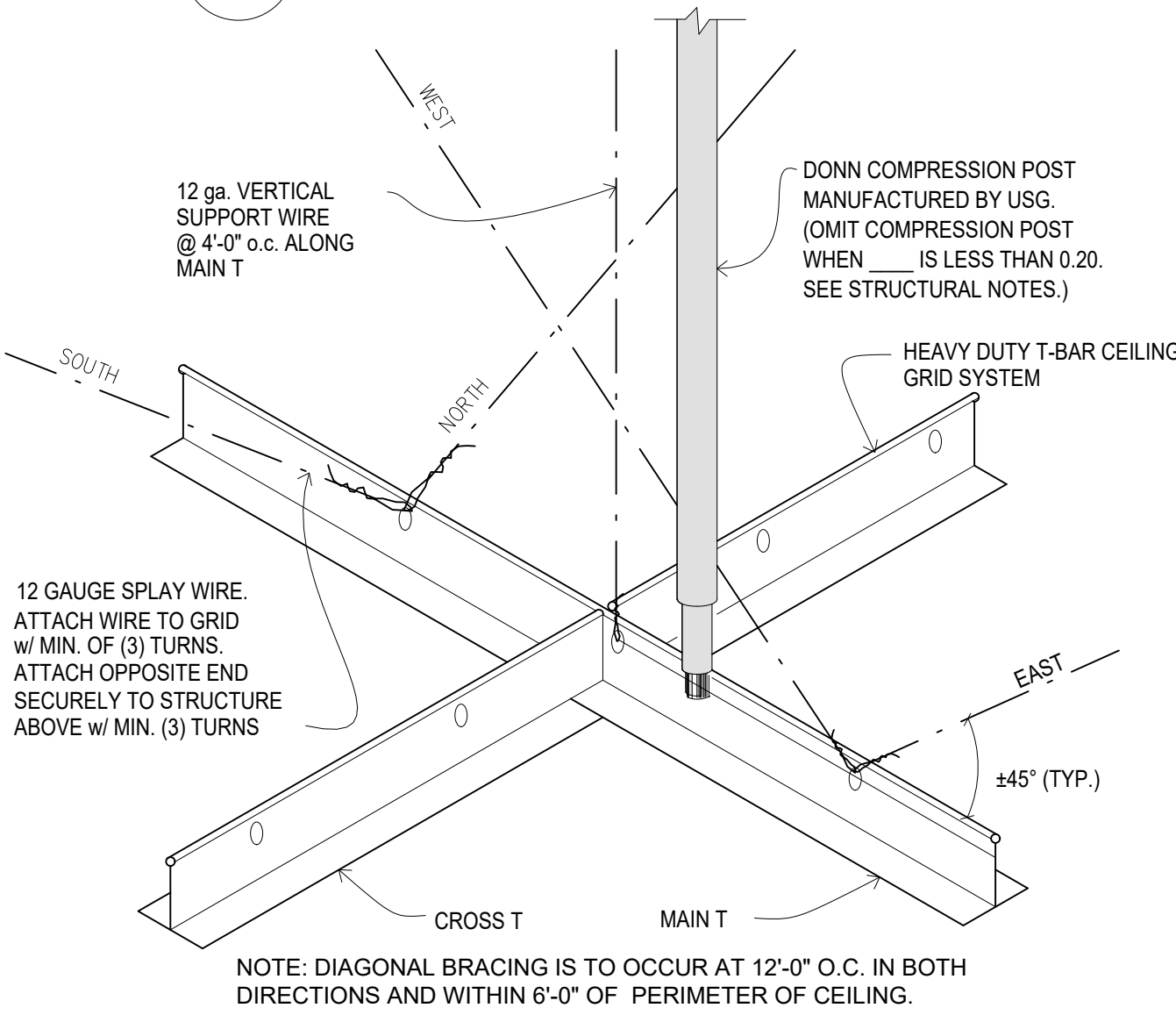
SHEET NAME:  
REFLECTED CEILING PLAN

SHEET NUMBER:

A2



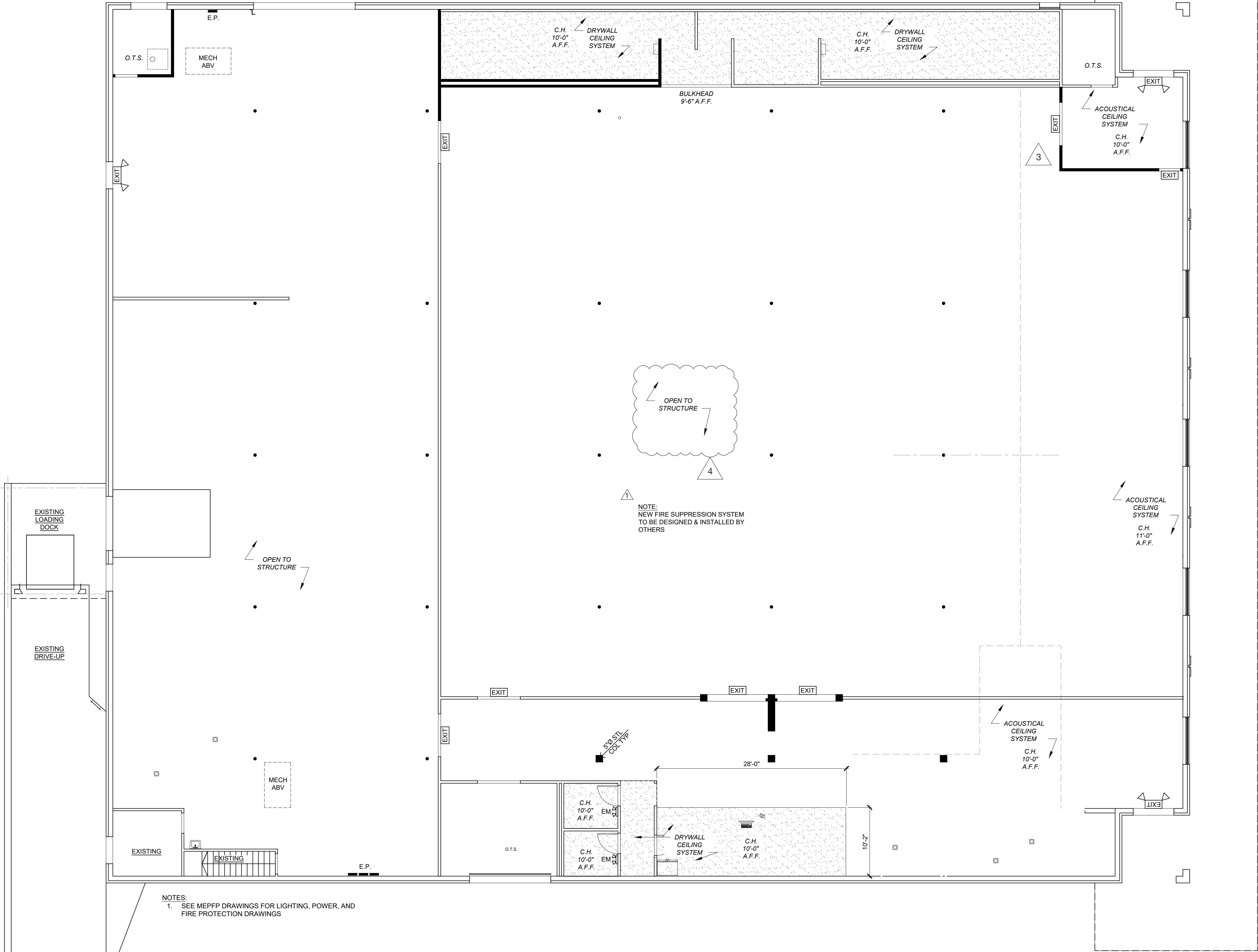
A SECTION THRU CEILING  
SCALE: NONE



B SEISMIC BRACING DETAIL  
SCALE: NONE

SEISMIC CEILING NOTES

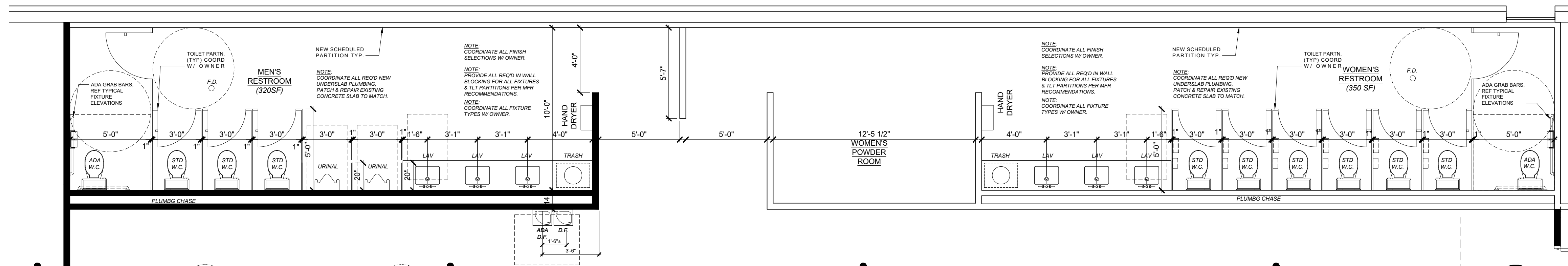
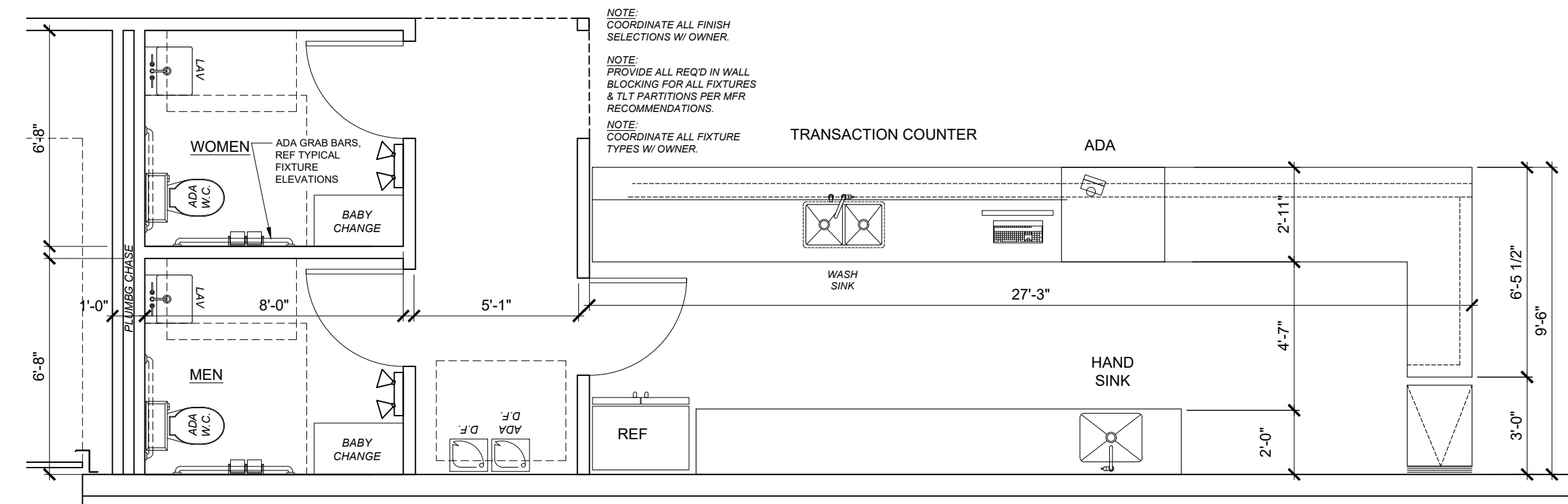
- \* A HEAVY DUTY T-BAR GRID SYSTEM SHALL BE USED.
- \* PERIMETER SUPPORTING CLOSURE ANGLE SHALL NOT BE LESS THAN 2". FOR EACH HORIZONTAL MEMBER OF THE GRID SYSTEM, ONE END SHALL BE ATTACHED TO CLOSURE ANGLE AND THE OTHER END SHALL BE INSTALLED WITH 3/4" CLEARANCE FROM THE WALL AND SHALL REST AND SLIDE FREELY ON THE CLOSURE ANGLE.
- \* MAIN AND CROSS RUNNERS SHALL BE TIED TOGETHER TO PREVENT TWISTING.
- \* INSTALL 12 GAUGE VERTICAL SUPPORT WIRES ON THE MAIN AND CROSS RUNNERS - MAXIMUM DISTANCE OF 8" FROM THE WALL. INSTALL ADDITIONAL VERTICAL SUPPORT WIRES IN THE FOLLOWING LOCATIONS:  
- 4'-0" O.C. ALONG THE MAIN RUNNER.
- \* LIGHT FIXTURES MUST BE POSITIVELY ATTACHED TO THE CEILING GRID WITH AN ATTACHMENT CAPABLE OF CARRYING 100% OF THE WEIGHT OF THE LIGHT FIXTURE. LIGHT FIXTURES WEIGHING UP TO 56 POUNDS REQUIRE 2 VERTICAL SUPPORT WIRES. THESE WIRES MAY BE SLACK. LIGHT FIXTURES WEIGHING MORE THAN 56 POUNDS SHALL REQUIRE INDEPENDENT SUPPORT FROM THE SHELL BUILDING STRUCTURE ABOVE THE CEILING.
- \* MECHANICAL AIR TERMINALS WEIGHING LESS THAN 20 POUNDS SHALL BE POSITIVELY ATTACHED TO THE CEILING GRID. AIR TERMINALS WEIGHING 20 POUNDS BUT NOT MORE THAN 56 POUNDS SHALL BE SECURED TO THE SHELL BUILDING STRUCTURE ABOVE THE CEILING IN ADDITION TO ATTACHING THE AIR TERMINAL TO THE CEILING GRID. THESE 2 NO. 12 GAUGE WIRES MAY BE SLACK. AIR TERMINALS WEIGHING MORE THAN 56 POUNDS SHALL REQUIRE INDEPENDENT SUPPORT FROM THE SHELL BUILDING STRUCTURE ABOVE THE CEILING.
- \* OTHER PENETRATIONS OF THE SUSPENDED CEILING SHALL HAVE A 2" OVERSIZE RING, SLEEVE, OR ADAPTOR THROUGH THE CEILING TILE TO ALLOW FOR FREE MOVEMENT OF AT LEAST 1" IN ALL HORIZONTAL DIRECTIONS.
- \* ALL WALL PARTITIONS GREATER THAN 6'-0" IN HEIGHT SHALL BE INDEPENDENTLY BRACED TO THE BUILDING SHELL STRUCTURE. WALL PARTITIONS MAY NOT BE SUPPORTED BY THE BRACED SUSPENDED CEILING ALONE.
- \* SPRINKLER HEADS AND OTHER PENETRATIONS OF THE SUSPENDED CEILING SHALL HAVE A 2" OVERSIZE RING, SLEEVE, OR ADAPTOR THROUGH THE CEILING TILE TO ALLOW FOR FREE MOVEMENT OF AT LEAST 1" IN ALL HORIZONTAL DIRECTIONS.



NOTES:  
1. SEE MEPFP DRAWINGS FOR LIGHTING, POWER, AND FIRE PROTECTION DRAWINGS





1 ENLARGED RESTROOM PLAN  
SCALE: 1/4" = 1'-0"2 ENLARGED RESTROOM & BAR PLAN  
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE									
NO.	DOOR		FRAME						
	SIZE (W x H)	MATERIAL	TYPE	FINISH	MATERIAL	TYPE	FINISH	DETAILS	HARDWARE
									REMARKS
100	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	-	EXIST. 2
101	3'-0" X 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3	SEE SCHED. -
102	3'-0" X 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3	SEE SCHED. -
103	3'-0" X 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3	SEE SCHED. -
104	6'-0" X 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3	SEE SCHED. 1
105	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	-	EXIST. -
106	6'-0" X 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3	SEE SCHED. 1, 2
107	6'-0" X 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3	SEE SCHED. 1, 2
108	8'-0" X 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3	SEE SCHED. 1, 2
109	8'-0" X 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3	SEE SCHED. 1, 2
110	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	-	EXIST. -
111	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	-	EXIST. -
112	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	-	EXIST. -
113	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	-	EXIST. -
114	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	-	EXIST. -
115	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	-	EXIST. 2
116	3'-0" X 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3	SEE SCHED. -
117	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	-	EXIST. -
118	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	-	EXIST. -
119	6'-0" X 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3	SEE SCHED. 1, 2
120	6'-0" X 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3	SEE SCHED. 1, 2
121	3'-0" X 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3	SEE SCHED. -
122	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	-	EXIST. 2
123	3'-0" X 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3	SEE SCHED. 2
124	3'-0" X 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3	SEE SCHED. -
125	3'-0" X 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3	SEE SCHED. -
126	3'-0" X 7'-0"	HM	DR-1	PT-1	HM	F-1	PT-1	4/A3	SEE SCHED. -

## DOOR SCHEDULE LEGEND:

HM HOLLOW METAL DOORS / FRAMES  
P PAINT  
WD WOOD

## DOOR SCHEDULE NOTES:

- ALL INTERIOR DOORS REQUIRE FLOOR MOUNTED DOOR STOPS.
- HARDWARE BY G.C.
- COORDINATE DOOR SELECTION, FINISH, AND HARDWARE W/ OWNER

## REMARKS:

- PAIR OF DOORS
- VERIFY OR PROVIDE PANIC HARDWARE

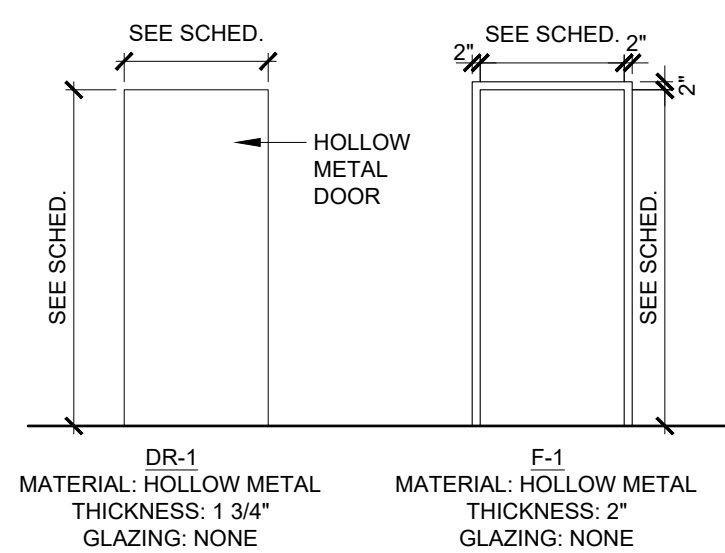
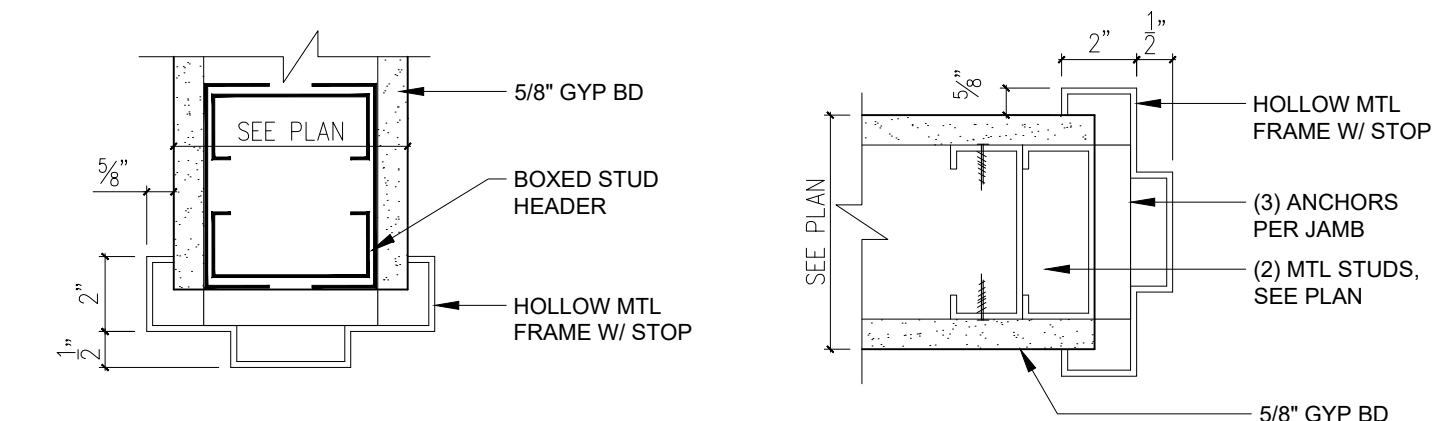
\* - SUPPLEMENT EXISTING HARDWARE AS REQUIRED BELOW OR MATCH EXISTING HARDWARE - COORDINATE W/ OWNER

HARDWARE SCHEDULE			
GROUP 1 - ENTRY W/ LOCK (VERIFY OR PROVIDE)		GROUP 3 - RESTROOM (SINGLE USE) (VERIFY OR PROVIDE)	
QTY.	PROVIDE : PER DOOR	QTY.	PROVIDE : PER DOOR
1 EACH	EXIST. HARDWARE TO BE SUPPLEMENTED AS REQ. (INCL. HINGES, STOPS, PULL/PUSH BARS, WEATHERSTRIPPING, & THRESHOLD).	1 1/2 PAIR	HINGE BB1279 4 1/2 X 4 1/2
1 EACH	EXIT DEVICE 18-R (PANIC BAR)	1 EACH	CYLINDER B-SERIES, B301, "D" LEVER STYLE
1 EACH	CYLINDER (VERIFY CAM & FINISH MAT'L.)	1 EACH	DEADBOLT W/ "IN USE" & "VACANT" INDICATOR
1 EACH	CLOSER 4041 (4040 SERIES)	1 EACH	5071 SATIN NICKEL FINISH
1 EACH	STOP - AS REQUIRED (WALL MOUNTED #407 1/2)	1 EACH	CLOSER 8616RHP W/ DSBT
1 EACH	FLOOR MOUNTED #436 OR #438	3 EACH	(WALL MOUNTED #407 1/2)
		1 EACH	(FLOOR MOUNTED #436 OR #438)
		1 EACH	SILENCERS GJ64
		1 EACH	KICK PLATE 12" X 34" US15 FINISH
GROUP 2 - SERVICE DOOR (VERIFY OR PROVIDE)		GROUP 4 - OFFICE / PRIVACY (MATCH EXISTING)	
QTY.	PROVIDE : PER DOOR	QTY.	PROVIDE : PER DOOR
2 PAIR	EXIST. HARDWARE TO BE SUPPLEMENTED AS REQ. (INCL. HINGES, STOPS, PULL/PUSH BARS, WEATHERSTRIPPING & THRESHOLD)	1 1/2 PAIR	HINGE BB1279 4 1/2 X 4 1/2
1 EACH	EXIT DEVICE 18-R (PANIC BAR)	1 EACH	CYLINDER B-SERIES, B301, "D" LEVER STYLE
1 EACH	CYLINDER W/ REMOVABLE CORE	1 EACH	STOREROOM FUNCTION
1 EACH	CLOSER DST 8616	1 EACH	CLOSER 8616AFB6 (NON HOLD OPEN)
1 EACH	EXIT ALARM EA500 X MS 2049F	1 EACH	STOP - AS REQUIRED
1 EACH	THRESHOLD #171A - SIZE AS REQUIRED	3 EACH	(WALL MOUNTED #407 1/2)
1 EACH	SWEEP #307AV - SIZE AS REQUIRED	1 EACH	(FLOOR MOUNTED #436 OR #438)
1 EACH	WEATHERSTRIP 303AV - SIZE AS REQUIRED	1 EACH	SILENCERS GJ64
1 EACH	KICK PLATE 24" X 40"	1 EACH	KICK PLATE 12" X 34" US15 FINISH
GROUP 5A - STORAGE ROOM (MATCH EXISTING)		GROUP 6 - PASSAGE (MATCH EXISTING)	
QTY.	PROVIDE : PER DOOR	QTY.	PROVIDE : PER DOOR
1 1/2 PAIR	HINGE 1279 4 1/2 X 4 1/2 US28	1 1/2 PAIR	HINGE 1279 4 1/2 X 4 1/2 US28
1 EACH	LEVER LOCK F581 DS US28	1 EACH	LEVER F101 DS US28
1 EACH	STOP - AS REQUIRED	1 EACH	CLOSER DST 8616
3 EACH	(WALL MOUNTED #407 1/2 PA28 (US28))	1 EACH	STOP - AS REQUIRED
	(FLOOR MOUNTED #436 OR #438 PA28 (US28))	3 EACH	(WALL MOUNTED #407 1/2 PA28 (US28))
		1 EACH	(FLOOR MOUNTED #436 OR #438 PA28 (US28))
		1 EACH	SILENCERS GJ64

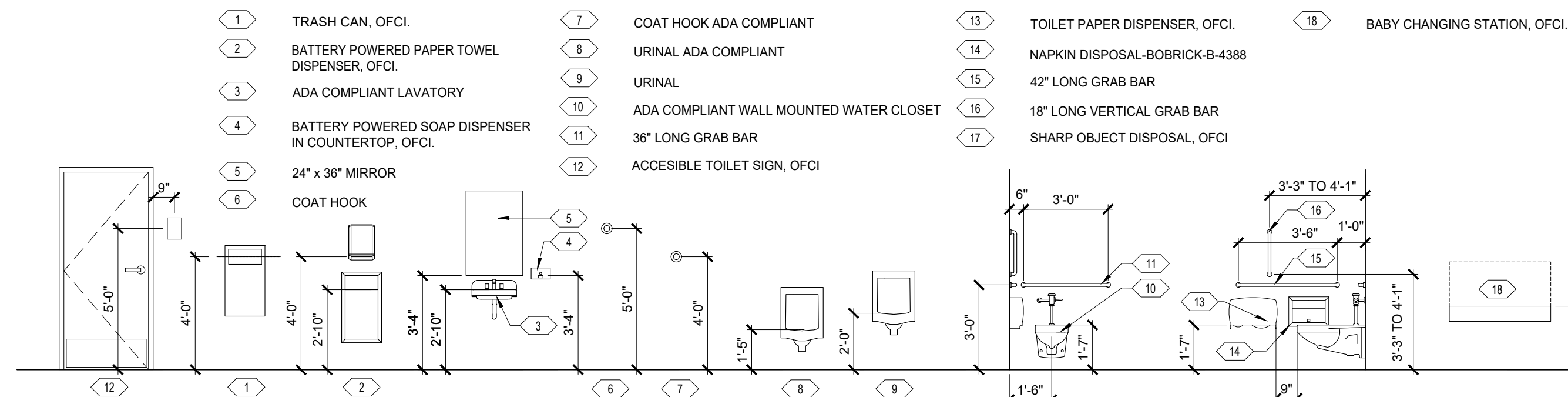
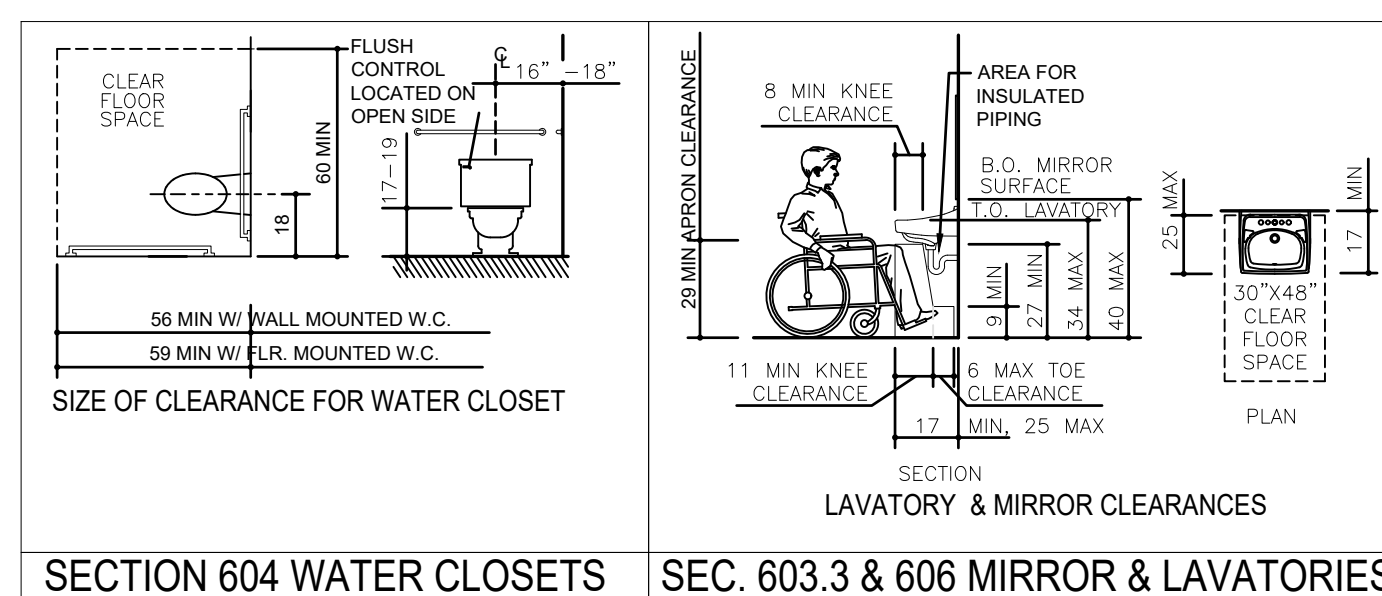
## DOOR HARDWARE NOTES:

- ALL PERIMETER DOORS TO BE KEYPED ALIKE. PROVIDE KEYWAY ON EXTERIOR FACE.
- ALL INTERIOR DOORS TO BE KEYPED ALIKE. PROVIDE KEYWAY ON EXTERIOR FACE.
- ALL HOLLOW METAL DOOR FRAMES ARE TO BE WELDED.
- G.C. TO FURNISH & INSTALL PANIC HARDWARE PER ALL APPLICABLE REGULATIONS & CODES HAVING JURISDICTION. MATCH EXISTING BUILDING HARDWARE - COORD W/ OWNER
- DOOR STOPS AND BUMPERS TO BE INSTALLED BEHIND ALL DOORS.
- ALL HARDWARE TO BE SATIN CHROME FINISH.

## DOOR &amp; FRAME TYPES

5 DOOR FRAMES & TYPES  
SCALE: 1/4" = 1'-0"4 TYPICAL DOOR DETAILS  
SCALE: 3/4" = 1'-0"

NOTE:  
G.C. TO PROVIDE & INSTALL LAVATORY PIPE INSULATION (WASTE & SUPPLY PIPING) PER ADA REQUIREMENT IN BOTH WOMEN'S & MEN'S RESTROOMS WITH TRUEBRO 100 SERIES - LAV GUARD2 IN CHINA WHITE COLOR. PROVIDE F.T. BLOCKING IN WALLS AS REQUIRED AT ALL WALL MOUNTED ACCESSORIES.



## TYPICAL FIXTURE ELEVATIONS:

EVENT SPACE CONVERSION  
TO EXISTING BUILDING9400 NATURAL BRIDGE RD  
ST. LOUIS, MISSOURI 63134

REV	DATE	ISSUE
3/21/24		PERMIT
5/9/24		REVISIONS
6/18/24		OWNER REV
7/16/24		OWNER REV
8/30/24		OWNER REV

SHEET NAME:  
ENLARGED PLANS &  
DETAILS

SHEET NUMBER:

A3